

DEPARTMENT OF LAND MANAGEMENT
PLANNING BOARD
116 Hampton Road
Southampton, NY 11968

Phone: (631) 287-5735
Fax: (631) 287-5706
www.southamptontownny.gov

TOWN OF SOUTHAMPTON



JAY SCHNEIDERMAN
TOWN SUPERVISOR

CHAIR
JACQUI LOFARO

VICE CHAIRPERSON
DENNIS FINNERTY

SECRETARY
PHILIP A. KEITH

BOARD MEMBERS
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ROBIN LONG
JOHN D. ZUCCARELLI

SITE PLAN/SPECIAL EXCEPTION APPLICATION FORM

This application form is required as part of any request to process the action listed below. In addition, Chapter §330 of the Town of Southampton Code requires specific material to be submitted in conjunction with this form. Other required items are indicated on the attached application checklist. It is the applicant's responsibility to insure that application package is complete and accurate. Incomplete applications will not be processed.

1. All applications must be completed in full and comply with §330 of the Town Code. Incomplete application packages will not be accepted.
2. These instructions and the application form shall be read carefully and understood before completing. Any questions should be referred to the Planning Division, Ph: 631-287-5735.
3. As per §330-183 of the Zoning Law, a complete Site Plan application shall consist of the following:
(check those appropriate)

Application form and copies in appropriate numbers
(a minimum of fifteen copies and additional copies if necessary)

Appropriate Site Plan review fee (See § 330-183B)

Area to be improved is less than 500 sq.ft. **\$1,100**

Area to be improved is greater than or equal to 500 sq.ft. and less than 10,000 sq.ft. **\$2,100**

Area to be improved is greater than or equal to 10,000 sq.ft.: **\$.25 per sq.ft.** (not to exceed \$15,000)

Site Plans, in appropriate quantity (a minimum of fifteen copies and additional copies if necessary) complying with minimum submission requirements listed in §330-183-C. The site plan may include landscape/grading plans, lighting plans, drainage plans, architectural building elevations and floor plans

Appropriate Environmental Assessment Form (EAF, if necessary. Check Town Code §157 and with the Planning Department).

4. A complete Special Exception application shall consist of the four items (a-d) mentioned in number 3 above, plus the following (check those appropriate, write NA where not applicable).
 - Legal petition, signed and notarized, explaining in detail how the proposed project will comply with Special Exception Standards.
 - Fee of **\$1,100** (plus **\$325** for special conditions and safeguards) (separate from review fee)



5. A minimum of fifteen sets of applications and plans are required. Additional copies of the application (SP and/or SE) and site plan may be necessary, if the following conditions are met:

2- Wetlands Permit required (See Chapter §325 of Southampton Town Code)

1- Project fronts a County Road

3 - Project fronts a State Road

1 - Special Exception Permit

1 - Project located in Pine Barrens compatible growth area or core area

3 Total Copies

6. Application is hereby made to the Southampton Town Board for a Construction Permit for buildings and other structures customarily accessory and incidental to agricultural production as defined by Section 301 of the New York State Agricultural and Markets Law and in accordance with the provisions of the Zoning Law of the Town of Southampton Article X Agricultural Overlay District, Section § 330-50

Farmlands Preservation Program. Further, nine (9) copies of the following are submitted herewith (check those appropriate, write NA where not applicable).

A copy of the approved subdivision map defining the grant easement (agricultural reserve) and the location of the proposed construction, if applicable.

A copy of the recorded grant easement (agricultural reserve) or development rights indenture

A copy of the Planning Board resolution approving the subdivision plan and other covenants, if applicable.

A site plan, at a scale of no less than one (1) inch equals forty (40) feet, prepared by an architect, civil engineer, or surveyor, and consisting of the following information unless waived by the Farmland Permit Administrator.

Agricultural Construction Permit Application Fee **\$1,100.00**

7. A Fee Schedule is included in this package.

PLEASE NOTE: If the site was subject of a previous site plan approval then new site plans may be necessary for the Special Exception request, however, the required number of as built surveys and petitions are still required.

Application Name: 2287 Montauk Highway LLC

SCTM No.: 0900-86-1-2

Property Address: 2287 Montauk Highway LLC

I. General Information

a) Applicant's Name: 2287 Montauk Highway LLC
Address: c/o Farrell Fritz 50 Station Road, Building One, Water Mill NY 11976
Phone No.: 631-537-3100

b) Name of Business (Existing or Proposed): Saunders & Associates
Address: 2287 Montauk Highway, Bridgehampton, NY 11932

c) If the applicant is a corporation, give the name and title of the responsible Officer:
Name: Andrew Saunders
Title: Managing Member

d) Landowner's Name: 2287 Montauk Highway LLC
Address: 2287 Montauk Highway, Bridgehampton, NY 11937

e) Licensed Architect, Landscape Architect, Civil Engineer or Land Surveyor
Name: Robert Smith
License No: 49239
Address: 46 Jagger Lane, Southampton NY 11968
Telephone: 631-283-0412

f) If the applicant does not own the property, prepare the Owner Endorsement Form at the end of this packet establishing authorization of the applicant's proposed subdivision of his land.

g) All communications with regard to this subdivision shall be addressed to the following person until further notice:
Name: Farrell Fritz, P.C. c/o Elizabeth E. Vail
Address: 50 Station Road, Building One, Water Mill, NY 11976
Phone No: 631-537-3100

II. Proposed Site

a) General location of Property South Side
of, Montauk Highway, approx. 196 feet east
(street or road)

(feet) (north/east/south/west)
of, Church Lane, m. Bridgehampton
(nearest interesting street)
(hamlet)

b) Total area under consideration: 1383 sq. ft. or
0.58 Acre property acres.

c) Zoning District(s):
Zoning Districts of adjoining Properties:

d) Zoning Overlay(s) (Please check all that apply)

- i. Agricultural*
- ii. Aquifer Protection
- iii. Tidal Flood Plain
- iv. Tidal Wetland & Ocean Beach
- v. Old Filed Map
- vi. Archaeological* (NYS Circles and Squares map)

*Include a survey showing the location of Class I and II prime agricultural soils

e) Latest Deed(s) describing this parcel(s) is/are recorded in the Suffolk County Clerk's Office as Follows:

DATE:	LIBER:	PAGE:
12/13/05	12540	0466

f) Are there any encumbrances or liens against this land other than mortgages? Yes No

g) Description of Project:

In the space below, please provide a description of the project, the proposed use and operation thereof, including a detailed explanation of the design concept, the objective of the project sponsor and how the project is or is not in compliance with the Town Code.

Additional sheets may be added if necessary

Applicant proposes to demolish an existing 1000 sf one story office building and construct a new two story office building. The first floor being 1642 sf and the second at 741 sf.

III. Characteristics of Site and Surrounding Lands

a. Current land use of site (agricultural, commercial, undeveloped)

Commercial.

b. Current conditions of site (building, brush, etc.)

Developed with two existing buildings and parking field.

c. Character of surrounding lands (within 200 feet) (residential, commercial, agriculture, wetlands, etc)

Predominately commercial. The property fronts on Montauk Highway.

IV. Nature of Use (i.e. retail, office, warehouse): Office.

IV. Nature of construction:

a. Anticipated construction time: 6 months.

b. Will Development be staged? YES: NO:

V. Impact:

a. Anticipated increase in number of residents, shoppers, employees, etc.

None.

VI. Zoning:

a. Has an application been made to the Zoning Board of Appeals for this property? YES: NO:

If yes, please list the name of application and date of determination.

Decision No. D018046 dated May 3, 2018; Decision No. D019048 dated April 18, 2019

b. Is a Change of Zone requested at this time? YES: NO:

VII. Buildings:

a. Are all buildings and structures shown on the survey? YES: NO:

b. Existing Building Area Coverage: Square Feet: 4420 Percent Lot: 17.5

c. Proposed Building Area Coverage: Square Feet: 5111 Percent Lot: 20.2

d. Height of Proposed Buildings: Feet: 32 Stories: 2

e. Residential Buildings: Number of Dwelling Units by Size

N/A

f. Non-Residential Buildings: Total Floor area and Total Sales area

1,383 sf (1642 sf first floor 741 sf second floor) Office Space

g. Is a cellar proposed? YES: NO:

h. Proposed siding material: cedar shingle

Roofing material: asphalt shingle

Construction Type: wood frame

i. Are fire-walls proposed or necessary? YES: NO:

j. Standard Industrial Classification Code Number:

Office

(as identified in the Table of Use Regulations listed in the Town Code)

VIII. Utilities

The site will be served by the following utilities:

Fire District: Bridgehampton

Water District or Company: NA

Electric and/or Gas Company: PSEG

Post Office: Bridgehampton

School District: Bridgehampton

IX. Signs

- a. Are there any existing free-standing or attached signs? YES: NO:
(all signs must be indicated on site plan.)
- b. Have sign permits been obtained for all existing signs? YES: NO:
- c. Are free-standing or attached signs proposed? YES: NO:

**Plans indicating location, size, colors and materials of all proposed signs must be submitted with the site plan application. A Sign Permit from the Building Department must be obtained for all signs.

X. Parking

- a. Number of off-street parking spaces required as calculated using the Schedule of Off-Street Parking Space Requirements for Non-Residential Uses, listed in Section 330-94 of the Town Code: Office 1/180; Total required 34 Spaces - provided 29 Five Additional Parking Waived by ZBA
- b. Number of existing parking spaces: 21
- c. Number of handicap parking spaces provided (must be at least 5% of total parking spaces provided.): 1
- d. Number of truck loading spaces: 0
- e. Is a parking waiver requested? YES: NO: If yes, for how many spaces? ZBA

Note: a formal letter requested waiver must be submitted separately along with this application

XI. State Environmental Quality Review Act (SEQR)

(Pursuant to Part 617, NYCRR and Chapter 157 of Town Code)

- a. Do any tidal or freshwater wetlands occur on the subject site? YES: NO:
- b. Are the wetlands and/or the proposed activity regulated by the following agencies?
New York State Department of Environmental Conservation: YES: NO:
U.S. Army Corps of Engineers: YES: NO:
Southampton Town Conservation Board: YES: NO:
Southampton Town Trustees: YES: NO:
- c. Has a permit been obtained from any of the above agencies? YES: NO:
If yes, which ones? _____
- d. Is the site located in a designated critical environmental area? YES: NO:
If yes, which ones? _____
- e. Is the proposed action a Type I, Type II, or unlisted action? Seqra ZBA Adopted a NEG DEC

Note: Part I of an Environmental Assessment Long Form must be submitted for all Type I and Unlisted Actions

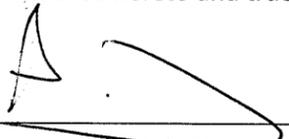
***PLEASE SUBMIT 15 COPIES OF APPLICATION AND PLANS. ***

***Note:** A minimum of 15 copies is required. Additional copies may be necessary.

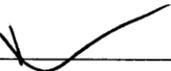
I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto and true and correct.

Andrew Saunders

Applicant's Name


Applicant's Signature

Sworn before me this 22 day of May 2019


Notary Public

THERESA K QUIGLEY
Notary Public, State of New York
Registration No. 02QU4778598
Qualified in Suffolk County
My Commission Expires December 9, 2022

TOWN OF SOUTHAMPTON

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JAY SCHNEIDERMAN
TOWN SUPERVISOR

KYLE P. COLLINS, AICP
TOWN PLANNING AND
DEVELOPMENT ADMINISTRATOR

Open Government Disclosure Form

(Zoning Board of Appeals, Planning Board, Conservation Board, all other Land Management Review)

STATE OF NEW YORK)

SS:

COUNTY OF SUFFOLK)

Andrew Saunders

, being duly sworn, deposes and says:

Print Name

I am the owner and/or applicant for a project that is the subject of a pending application before the Southampton (Check one)

Zoning Board of Appeals, Planning Board, Conservation Board all other Land Management

Review. I make this affidavit under penalty and swear to the truth herein. I am aware that this affidavit is required by General Municipal Law §809 and Southampton Town Code Chapter 23 and that I shall be guilty of a misdemeanor should I knowingly or intentionally fail to make all disclosures herein. I am also aware that I may be subject to the penalties in Southampton Town Code §23-14 should I knowingly or intentionally fail to make all disclosures herein.

- The application name is: 2287 Montauk Highway, LLC
- I reside at c/o Farrell Fritz, PC, 50 Station Road, Building One, Water Mill NY
- The officers of the applicant corporation/owner corporation are as follows:
 Pres. _____ Sec. _____
 Vice Pres. _____ Treas. _____
- Do any of the following individuals have an interest in the owner or applicant (as defined on page iii, note "A")?

Yes **No**

- A. Any official of New York State
- B. Any elected or appointed official or employee of Southampton Town or Suffolk County

If the answer to Question 4 is YES, General Municipal Law §809 and Town Code Chapter 23 require that you disclose the name and the nature and event of the interest of said individual(s) in the owner or applicant.

<u>Name</u>	<u>Residence</u>	<u>Nature of Interest</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____

5. During the 24 months before the filing of this application, have any of the following individuals made campaign contributions exceeding \$500 in total, in cash or in kind, to the campaign for public office of any Town officer or employee, to any individual campaign committee, or to any political party committee designated to accept donations on such Town official's or employee's behalf as a candidate for public office?

- | | <u>Yes</u> | <u>No</u> |
|---------------------------------|--------------------------|-------------------------------------|
| 1. Owner | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 2. Applicant | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 3. Agent for owner or applicant | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 4. Attorney | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 5. Other | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

If the answer to Question 5 is yes, Town Code Chapter 23 requires that the information be provided below:

<u>Name/Address</u>	<u>Amount/Date</u>	<u>Name of Campaign Committee</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____

6. During the preceding 24 months before the filing of this application, have any of the following individuals employed any Town officer or employee or a relative thereof involving compensation in an amount of \$500 or more? Said compensation may be directly made, or indirectly made through a corporation or business interest held by any Town officer or employee or their relative.

- | | <u>Yes</u> | <u>No</u> |
|---------------------------------|--------------------------|-------------------------------------|
| 1. Owner | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 2. Applicant | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 3. Agent for owner or applicant | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 4. Attorney | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 5. Other | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

If the answer to Question 6 is yes, Town Code Chapter 23 requires that the information be provided below:

<u>Name</u>	<u>Position</u> (Owner, Agent, Attorney, Other)	<u>Corporation</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____

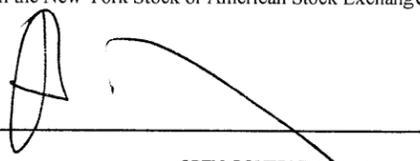
READ AND CHECK BOX

False statements made herein are punishable as a class "A" Misdemeanor pursuant to Section 210.45 of the New York State Penal Law.

A. For the purposes of this disclosure, an official of the State of New York or an elected or appointed official or employee of the Town of Southampton shall be deemed to have an interest in the owner and/or applicant when that official or employee, their spouse, brothers, sisters, parents, children, grandchildren or the spouse of any of them is:

- a. the owner or applicant; or
- b. an officer, director, partner, or employee of the applicant or owner; or
- c. Legally or beneficially owns or controls stock of a corporate applicant or owner, or is a member of a partnership or association applicant or owner; or
- d. Is a party to an agreement with the applicant or owner, express or implied, whereby said official or employee may receive any payment or other benefit, whether or not for services rendered, dependent or contingent upon the favorable approval of such application. Ownership of less than five percent of the stock of a corporation whose stock is listed on the New York Stock or American Stock Exchange shall not constitute an interest for the purposes of this disclosure.

Submitted by (please print): Andrew Saunders



SITE PLAN/SPECIAL EXCEPTION APPLICATION FORM CHECK LIST
THIS FORM TO BE COMPLETED BY APPLICANT

Project Name: 2287 Montauk Highway, LLC

SCTM No.: 0900-86-1-2

Property Address or Location: 2287 Montauk Highway, Bridgehampton, NY 11937

Contact Person: Elizabeth E. Vail, Farrell Fritz 631-537-3100

Application submitted by: **Property Owner** **Owner's Agent**

Date: _____

SUBMISSION REQUIREMENTS
IS ITEM INCLUDED?
PLEASE CHECK YES OR NO

	YES	NO
Fees:		
Site Plan:		
1. The improved or altered area is 500 SF or less	___	___
2. The improved area of the project is greater than 500 SF but does not exceeds 2 acres	___	___
3. The improved area of the project exceeds 2 acres	___	✓
Special Exception Fee	___	✓
Fee Waiver Requested	___	✓
Site Plan Application Form	✓	___
Special Exception Legal Petition	___	✓

Site Plan: Legal Data

Site plan @ 1" = 40' or greater	✓	___
Key Map @ 1" = 200' or greater	✓	___
Name and Address of Owner of Record	✓	___
Name and Address of person/firm preparing map	✓	___
Signed/Stamped	✓	___
Date	✓	___
North Arrow	✓	___
Scale (Graphic or Written)	✓	___
Property Description (error of closure not exceed 1 in 10,000)	✓	___
Location, Names, Ownership of adjacent streets and curblines	✓	___

Adjoining lands and owners	<u>✓</u>	___
Public easements, setbacks, or dedicated area on site or adjoining land	<u>✓</u>	___
Outline of existing easements, deed restrictions or covenants on site	<u>✓</u>	___
Existing Zoning	<u>✓</u>	___

Site Plan: Natural Features

Existing contours at max. 2' intervals, or spot elevations (Identify source of contour information)	<u>✓</u>	___
Approximate boundaries of areas subject to flooding	<u>✓</u>	___
Identification of unique natural features (wetlands, steep slopes)	<u>✓</u>	___
Identification of cultural features on site or adjacent	<u>✓</u>	___
Archeological, historic buildings, agricultural fields on or adjacent	<u>✓</u>	___

Site Plan: Existing Structures and Utilities

Building footprints and uses not requiring buildings	<u>✓</u>	___
All paved areas, parking areas, sidewalks, vehicular access to street	<u>✓</u>	___
Existing culverts (dimension and grades) flow direction and grades	<u>✓</u>	___
Underground/above ground utilities on site and adjacent		
Electrical Service	<u>✓</u>	___
Water Mains	<u>✓</u>	___
Sewer Mains	<u>✓</u>	___
All existing site structures (including fences)	<u>✓</u>	___
Location and use of all buildings and structures within 200'	<u>✓</u>	___
Nearest Fire Hydrant, cisterns, other fire protection	<u>✓</u>	___

Site Plan: Proposed Development

Location of building or structures (Indicate all setbacks and horizontal distances from existing structure)	<u>✓</u>	___
Location and design of non-structural elements (parking, loading areas)	<u>✓</u>	___
Parking calculations		
Automobile	<u>✓</u>	___
Truck	<u>✓</u>	___
Outdoor lighting plan – location & lamp Design (Lightening power w/ foot-candles indicated on site plan, and time of use)	<u>✓</u>	___
Grading and drainage plan	<u>✓</u>	___
Drainage calculations	<u>✓</u>	___
Proposed contours/spot elevations	<u>✓</u>	___
Sewage disposal treatment	<u>✓</u>	___

Storage areas for materials, vehicles, equipment, supplies, products	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Building Elevations including:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Description of materials, colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sign Plans	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Proposed location	<input type="checkbox"/>	<input type="checkbox"/>
Design	<input type="checkbox"/>	<input type="checkbox"/>
Landscape Plans	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Plant List	<input type="checkbox"/>	<input type="checkbox"/>
Size and Quantity	<input type="checkbox"/>	<input type="checkbox"/>
Cablevision installations, location of water valves, water supply	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Outdoor storage areas (located in side or rear yard and screened or fenced)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Phased development plans (when appropriate)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Compliance with ZBA Variance (if applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Additional Materials:

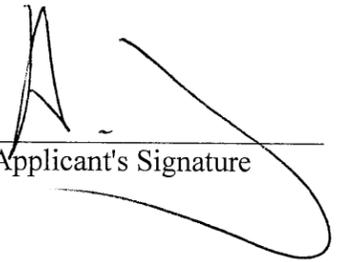
Certificate of Appropriateness (Landmarks & Historic District)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Wetland Permit Application (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Sign Permit Application (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Owners Endorsement	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Disclosure Affidavit	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Agriculture Data Statement	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Additional Comments:

For all information that is not provided state "No".
If the applicant believes these items are not applicable, indicate such and give reasoning.

Other comments about the submission may be provided here.
Plans will be provided as required by the Planning Board through the review process.

2287 Montauk Highway LLC
Applicant's Name


Applicant's Signature

TOWN OF SOUTHAMPTON

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DEVELOPMENT ADMINISTRATOR

Open Government Disclosure Form

(Zoning Board of Appeals, Planning Board, Conservation Board, all other Land Management Review)

STATE OF NEW YORK
ss:
COUNTY OF SUFFOLK

Elizabeth E. Vail, being duly sworn, deposes and says:

Print Name

I am the owner and/or applicant for a project that is the subject of a pending application before the Southampton (Check one)
[] Zoning Board of Appeals, [x] Planning Board, [] Conservation Board [] all other Land Management Review. I make this affidavit under penalty and swear to the truth herein. I am aware that this affidavit is required by General Municipal Law §809 and Southampton Town Code Chapter 23 and that I shall be guilty of a misdemeanor should I knowingly or intentionally fail to make all disclosures herein. I am also aware that I may be subject to the penalties in Southampton Town Code §23-14 should I knowingly or intentionally fail to make all disclosures herein.

- 1. The application name is: 2287 Montauk Highway, LLC
2. I reside at c/o Farrell Fritz, PC, 50 Station Road, Building One, Water Mill NY
3. The officers of the applicant corporation/owner corporation are as follows:
Pres. Sec.
Vice Pres. Treas.
4. Do any of the following individuals have an interest in the owner or applicant (as defined on page iii, note "A")?
Yes No
A. Any official of New York State [] [x]
B. Any elected or appointed official or employee of Southampton Town or Suffolk County [] [x]

If the answer to Question 4 is YES, General Municipal Law §809 and Town Code Chapter 23 require that you disclose the name and the nature and event of the interest of said individual(s) in the owner or applicant.

Table with 3 columns: Name, Residence, Nature of Interest. Three rows of blank lines for entry.

5. During the 24 months before the filing of this application, have any of the following individuals made campaign contributions exceeding \$500 in total, in cash or in kind, to the campaign for public office of any Town officer or employee, to any individual campaign committee, or to any political party committee designated to accept donations on such Town official's or employee's behalf as a candidate for public office?

	<u>Yes</u>	<u>No</u>
1. Owner	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Applicant	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Agent for owner or applicant	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Attorney	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Other	<input type="checkbox"/>	<input checked="" type="checkbox"/>

If the answer to Question 5 is yes, Town Code Chapter 23 requires that the information be provided below:

<u>Name/Address</u>	<u>Amount/Date</u>	<u>Name of Campaign Committee</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____

6. During the preceding 24 months before the filing of this application, have any of the following individuals employed any Town officer or employee or a relative thereof involving compensation in an amount of \$500 or more? Said compensation may be directly made, or indirectly made through a corporation or business interest held by any Town officer or employee or their relative.

	<u>Yes</u>	<u>No</u>
1. Owner	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Applicant	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Agent for owner or applicant	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Attorney	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. Other	<input type="checkbox"/>	<input checked="" type="checkbox"/>

If the answer to Question 6 is yes, Town Code Chapter 23 requires that the information be provided below:

<u>Name</u>	<u>Position</u> (Owner, Agent, Attorney, Other)	<u>Corporation</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____

READ AND CHECK BOX

False statements made herein are punishable as a class "A" Misdemeanor pursuant to Section 210.45 of the New York State Penal Law.

A. For the purposes of this disclosure, an official of the State of New York or an elected or appointed official or employee of the Town of Southampton shall be deemed to have an interest in the owner and/or applicant when that official or employee, their spouse, brothers, sisters, parents, children, grandchildren or the spouse of any of them is:

- a. the owner or applicant; or
- b. an officer, director, partner, or employee of the applicant or owner; or
- c. Legally or beneficially owns or controls stock of a corporate applicant or owner, or is a member of a partnership or association applicant or owner; or
- d. Is a party to an agreement with the applicant or owner, express or implied, whereby said official or employee may receive any payment or other benefit, whether or not for services rendered, dependent or contingent upon the favorable approval of such application. Ownership of less than five percent of the stock of a corporation whose stock is listed on the New York Stock or American Stock Exchange shall not constitute an interest for the purposes of this disclosure.

Submitted by (please print): Michael Stewart

Department of Land Management
Zoning Board of Appeals
116 HAMPTON ROAD
SOUTHAMPTON, NY 11968

Phone: (631) 287-5700
Fax: (631) 287-5754

TOWN OF SOUTHAMPTON



JAY SCHNEIDERMAN
TOWN SUPERVISOR

CHAIRPERSON
ADAM GROSSMAN

VICE-CHAIRPERSON
BRIAN DESESA

BOARD MEMBERS
KEITH TUTHILL
HELENE BURGESS
CORNELIUS KELLY
MICHAEL DALY
JASON HANN

RESCISSION OF CONDITIONED NEGATIVE DECLARATION AND RESOLUTION TO ADOPT NEGATIVE DECLARATION 2287 MONTAUK HIGHWAY, LLC 2287 MONTAK HIGWAY, BRIDGEHAMPTON

WHEREAS, this Board as Lead Agency, on April 5, 2018, adopted a Conditioned Negative Declaration in connection with the application of 2287 Montauk Highway LLC, finding that the project will not result in any significant adverse environmental impacts so long as the following conditions are met: (i) the applicant shall enter into a shared parking agreement with the Newman Village Complex for the six additional parking spaces required on site; and (ii) the six parking spaces located at the Newman Village Complex shall be used as employee parking for the premises and shall be designated as such with appropriate signage; and

WHEREAS, Decision D018046, dated May 3, 2018, granted variances for the project, including relief from Town Code §330-100D and Town Code §330-95 for a parking waiver for six spaces, and incorporated the aforementioned SEQRA conditions into its grant of relief; and

WHEREAS, the applicant subsequently informed this Board that the conditions could not be met as the Newman Village Complex would not enter into a shared parking agreement for the six parking spaces with the applicant, and as a result, requested that the Decision and SEQRA determination be modified to remove the condition as it related to the parking spaces; and

WHEREAS, a public hearing was advertised, the adjacent property owners notified, and the premises posted, to take testimony in connection with the proposal, wherein the applicant maintained that:

- A tree can be removed to accommodate one new parking space;
- There are no alternatives to shared parking in the neighborhood—attempts were made to secure the parking at Newman Village, the Bridgehampton Methodist Church, and to purchase the property directly east and were unsuccessful;
- Town Code §330-101(Parking Trust fund) sets forth fees to be paid per-space where a parking waiver is granted, and the applicant has offered to pay a total of \$50,000 in order to contribute to the Town's parking trust fund in Bridgehampton;
- The proposed second floor of the building will host an executive suite for the president of the company, his V.P. and two assistants (or in any event no more than four people), and that their existing offices/space in the front building will be converted into a conference room, and the applicant offered to covenant as such.
- This Board routinely grants variances for parking, particularly in Bridgehampton.

WHEREAS, after discussions with the applicant and considering the new information in the record, including impacts on land, groundwater, critical environmental areas, consistency with community plans and consistency with community character as a potential environmental issues, this Board finds that *the change in circumstances and removal of the condition will not result in any significant effect on the environment;

NOW THEREFORE BE IT RESOLVED, that based on the change of circumstances as aforementioned, this Board hereby rescinds the Conditioned Negative Declaration previously adopted on April 5, 2018, in connection with the application of 2287 Montauk Highway, LLC; and be it further

RESOLVED, that this Board hereby adopts a NEGATIVE DECLARATION in connection with the revised application of 2287 Montauk Highway, LLC.



Town of Southampton
Board of Appeals

This is Not a Building Permit

DECISION NO. D019048

DECISION DATE: April 18, 2019

VARIANCE IS HEREBY GRANTED

OWNER: 2287 Montauk Highway LLC
PO Box 603
Bridgehampton, NY 11932

LOCATION: 2287 Montauk Hwy, Bridgehampton

DETERMINATION:

This Board amends ZBA Decision No. D018046 dated May 3, 2018, to remove the conditions that (i) the applicant shall enter into a shared parking agreement with the Newman Village Complex for the six additional parking spaces required on site; and (ii) the six parking spaces located at the Newman Village Complex shall be used as employee parking for the premises and shall be designated as such with appropriate signage. This Board also amends the relief previously granted from: (i) Town Code Section 330-30 (general regulations) to grant a total lot coverage of 66% where no more than 60% of the lot shall be covered by impervious or paved surfaces, including buildings, structures, driveways, parking and loading areas, walkways, patios and the like, and (ii) Town Code Section 330-100D (exemptions and waivers of parking and truck loading space requirements) and Town Code Section 330-95 (schedule of off-street parking space requirements for nonresidential uses) for a waiver of the requirement to construct five (5) additional off-street parking spaces. These variances are granted as shown on the survey prepared by Robert A. Smith, of Squires, Holden, Weisenbacher & Smith, surveyed September 24, 2007, last revised November 26, 2018.

Pursuant to Town Code Section 330-101 (Parking Trust Fund), as modified herein, this Decision is conditioned upon the applicant contributing a total of \$50,000 to the Town's parking trust fund in Bridgehampton prior to the issuance of a Certificate of Occupancy for the proposed building. This Decision is also conditioned upon the filing of a covenant, approved in form and substance by the Town Attorney's Office, that the proposed second floor of the building will host offices/space for no more than four people, prior to the issuance of a Certificate of Occupancy for the proposed building. Lastly, this Decision is conditioned upon the applicant obtaining all other necessary permits or approvals. All other provisions and conditions of Decision D018046, dated May 3, 2018 remain in full force and effect.

Pursuant to application, and survey and conditions as approved by the Board of Appeals.

NOTE: The holder of this variance is requested to familiarize himself with the ordinance under which said variance is granted. Any violation of the provisions of said ordinance shall render the offender liable for the penalties provided therein, and in addition thereto, may result in the immediate revocation of the building permit.

This notice must be kept on the premises until full completion of the work authorized.

PER

A handwritten signature in black ink, appearing to read "Adam B. Grossman". The signature is written in a cursive style with a large initial "A".

Adam B. Grossman
Chairman

ZONING BOARD OF APPEALS
TOWN OF SOUTHAMPTON

-----X
In the Matter of the Application of
2287 Montauk Highway LLC
2287 Montauk Highway
Bridgehampton, New York
SCTM #0900-86-1-2
-----X

AMENDED DECISION

FINDINGS AND DETERMINATION

On May 3, 2018, by Decision No. D018046, this Board granted variances from various provisions of the Town Code for the demolition of one single story office building and the construction of a two story office building with an increase in 1,383 square feet.¹ These variances were subject to the following conditions that were also included in a Conditioned Negative Declaration, adopted by the Board on April 5, 2018: (i) the applicant shall enter into a shared parking agreement with the Newman Village Complex for the six additional parking spaces required on site, a copy of which shall be submitted to the Town Attorney's Office prior to the issuance of a building permit; and (ii) the six parking spaces located at the Newman Village Complex shall be used as employee parking for the premises and shall be designated as such with appropriate signage.

By letter dated August 21, 2018, agent for the applicant, Elizabeth Vail, Esq., of Farrell Fritz, P.C., notified the Board that the applicant was unable to meet the aforementioned conditions as they could not come to an agreement for the shared parking with the Newman Village Complex and requested that the Decision be modified to eliminate the condition. The modification request was published, re-noticed, the notice was posted, and public hearings were held on the requested modification.

At the public hearings on the matter, Elizabeth Vail, Esq., and David Gilmartin, Esq. of Farrell Fritz, appeared on behalf of the applicant asking that the conditions from both the prior Decision and the SEQRA determination be removed, stating that despite

¹Variances were granted by this Board from: (i) Town Code §330-34 (business districts table of dimensional regulations) for a principal front yard setback of 22 feet from Church Lane where 30 feet is required and a total lot coverage of 20.2% where a maximum of 20% is permitted for a proposed two-story building; (ii) Town Code §330-83G(3) (yards) to allow one (1) additional parking space to be located within the transitional front yard where the minimum required transitional front yard shall be 20 feet in all nonresidential zones where the subject property adjoins all other streets (i.e. collector or minor streets); (iii) Town Code §330-109B(4)(c) (fences, walls, accessory driveway structures, and clotheslines) to allow a proposed dumpster to be located in a front yard where all containers shall be located in the rear or side yard and shall not obstruct access to utilities; (iv) Town Code §330-30 (general regulations) to allow a total lot coverage of 20.2% where no more than 20% of the lot shall be covered by main and accessory buildings and a total lot coverage of 65.1% where no more than 60% of the lot shall be covered by impervious or paved surfaces, including buildings, structures, driveways, parking and loading areas, walkways, patios and the like; and (v) Town Code §330-100D (exemptions and waivers of parking and truck loading space requirements) and Town Code §330-95 (schedule of off-street parking space requirements for nonresidential uses) for a waiver of the requirement to construct six (6) additional off-street parking spaces).

good faith negotiations, an agreement could not be reached with Newman Village for the shared parking. Ms. Vail stated that alternative sites were explored and that none came to fruition, and that the applicant is able to remove a tree on the premises that will accommodate one additional parking space bringing the total requested to five instead of the previously granted six. Ms. Vail explained however, that the removal of the tree will result in an increase in the lot coverage where no more than 60% of the lot shall be covered by impervious or paved surfaces, including buildings, structures, driveways, parking and loading areas, walkways, patios and the like, thus, requiring a variance to allow 66% where 65.1% was previously granted by the Board. Ms. Vail also reminded the Board that it routinely grants variances for parking in Bridgehampton and that had the applicant not initially offered to secure parking at Newman Village, it's likely, and consistent with the Board's prior decisions, that variances would have been granted without condition. Lastly, Ms. Vail stated that the addition of the second story is not for the use of any additional employees and is predominantly dedicated to an executive suite for the president of the company, the vice president, and two secretaries. Also on behalf of the applicant, David Gilmartin, Esq., stated that in lieu of the off-site parking that couldn't be achieved at Newman Village, the applicant would pay fees into the Town's parking trust fund in Bridgehampton in excess of those required by Town Code §330-101, and explained that issues raised regarding parking on Church Lane should be addressed to the Town Board. Mr. Gilmartin also stated that the applicant would covenant that the second story of the proposed building would not accommodate more than four people, which would ensure that fewer cars would require parking.

Neighbor Gerard Widdershoven, of 43 Church Lane, appeared in opposition to the modification, stating that he lives across the street and believes that the original proposal and now the modification, will increase the traffic on Church Lane as it moves into the parking lot with insufficient parking. Mr. Widdershoven reminded the Board of his previous testimony that most of the brokers come down Church Lane and park on the street because the premises does not have sufficient parking and maintained that the business has become too big to manage on the premises. Mr. Widdershoven testified that the variances shouldn't have been granted to allow the parking to be moved to Newman Village and certainly shouldn't be granted to waive parking all together.

This Board is in receipt of letters and emails, and a Petition, in opposition to the application from Pamela Harwood, Carleen A. Borsella, Gerardus Widdershoven and Nicholas Howey, Norm Lowe, Alex Akavan, Sergios Canetti and Julio Grosse, Clyde March, John Morelli, Nancy Thomas and Patricia Scholz, Eve and Johnathon Schenk, Hanna Persson, Susan Rockefeller, and Thomas K. Chu and Adam Lewis, that state, in sum and substance, that: (i) there is insufficient parking on the premises and in the neighborhood; (ii) the request is not in keeping with the character of the neighborhood; (iii) the area is not safe for pedestrians and will only increase the danger; (iv) the proposed building is too large; and (v) the applicant owns other properties and has alternatives to the proposal.

The Board is in receipt of a Referral Report from the Planning Board adopted November 15, 2018, noting, among other things, the lack of parking and increased traffic

in Bridgehampton, the exploration of alternative parking arrangements and a possible reduction in the building size.

During the course of the public hearings, the Board also determined that that the previously adopted Conditioned Negative Declaration needed to be rescinded and a new SEQRA determination reached prior to rendering a decision on the modification. After considering the testimony and evidence before it, by resolution adopted February 2, 2019, the Board rescinded the Conditioned Negative Declaration and adopted a Negative Declaration for the modified application.²

In order to grant the area variance relief requested, the Zoning Board of Appeals shall take into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood or community by such grant. Further, the applicant must demonstrate, pursuant to §330-166(C) of the Town Code, that the proposed variances meet the standards set forth in that section, as well as the standards set forth in §267-b of New York State Town Law. This Board finds that the benefit to the applicant in granting the relief outweighs any perceived detriment to the health, safety, and welfare of the neighborhood or community by such grant. In this instance, the Board finds that the applicant has established that it is appropriate to remove the condition and modify the earlier variance. In lieu of the establishment of six off-site parking spaces, applicant is able to establish one additional spot on site (providing 29 where 34 spaces is required), and will pay the required, and additional funds, into the Bridgehampton parking trust fund.

While this Board recognizes that there is, and has been, opposition to the application, particularly as it relates to what is perceived as overflow employee parking on to Church Street, this Board must consider that the issue before it is to allow for 29 parking spaces where 34 are required. This calculation is based on the square footage of the proposed building, and the applicant has stated, and will covenant, that the additional square footage is dedicated to an executive suite for the president, vice president and two secretaries, and not for new employees. As such, this Board finds that the benefit to the applicant of granting the variances outweighs any detriment to the health, safety and welfare of the neighborhood or the community. This Board further finds as follows: (1) that no undesirable change will be produced in the character of the neighborhood nor will a detriment to nearby properties be created by the granting of the variances; (2) that the benefit sought by the applicant cannot be achieved by some method, feasible for the applicant to pursue, other than a variance as off-site parking has been explored and has not been able to secured; (3) the relief requested herein is not substantial under this set of facts and circumstances; (4) the proposed variances, based on the facts and circumstances surrounding this particular application, will not have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district; and (5) the alleged difficulty was not self-created as good faith efforts were made to comply with the condition from the prior variance.

² Although not required, the Board's rescission of the Conditioned Negative Declaration and adoption of the Negative Declaration was forwarded to the ENB for publication.

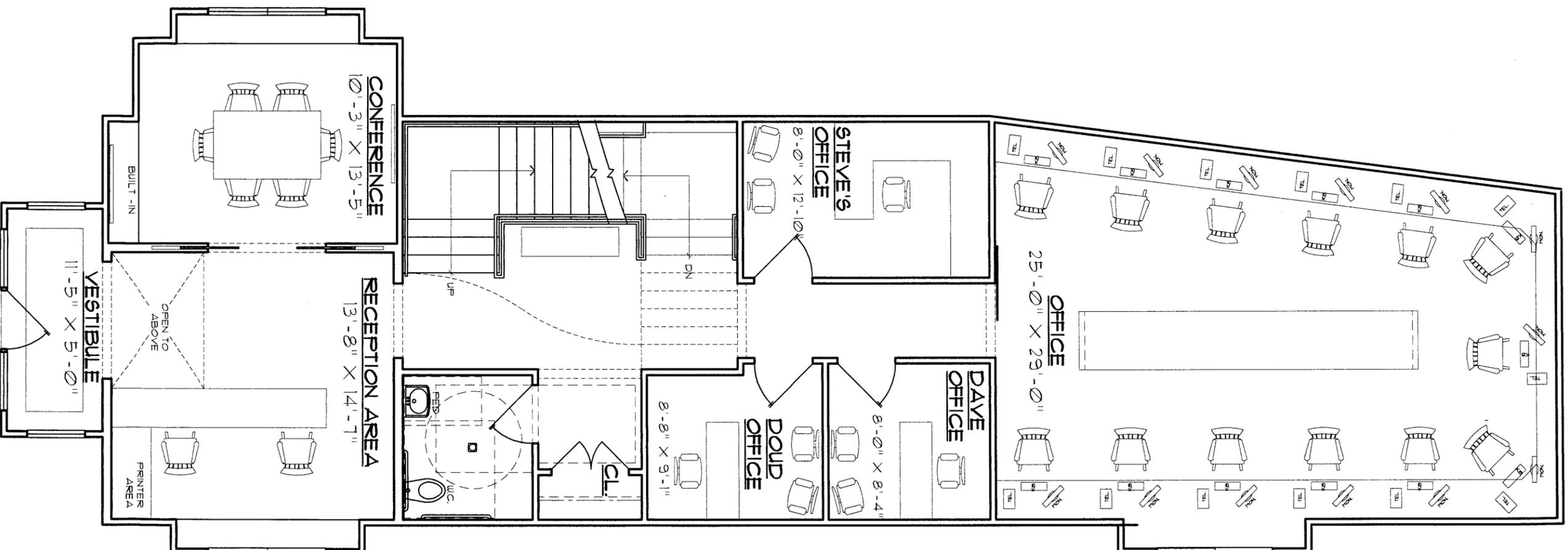
Therefore, and for the reasons set forth herein, this Board amends ZBA Decision No. D018046 dated May 3, 2018, to remove the conditions that (i) the applicant shall enter into a shared parking agreement with the Newman Village Complex for the six additional parking spaces required on site; and (ii) the six parking spaces located at the Newman Village Complex shall be used as employee parking for the premises and shall be designated as such with appropriate signage. This Board also amends the relief previously granted from: (i) Town Code §330-30 (general regulations) to grant a total lot coverage of 66% where no more than 60% of the lot shall be covered by impervious or paved surfaces, including buildings, structures, driveways, parking and loading areas, walkways, patios and the like, and (ii) Town Code §330-100D (exemptions and waivers of parking and truck loading space requirements) and Town Code §330-95 (schedule of off-street parking space requirements for nonresidential uses) for a waiver of the requirement to construct five (5) additional off-street parking spaces. These variances are granted as shown on the survey prepared by Robert A. Smith, of Squires, Holden, Weisenbacher & Smith, surveyed September 24, 2007, last revised November 26, 2018.

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Dated: April 18, 2019



Brian DeSesa



FIRST FLOOR PLAN

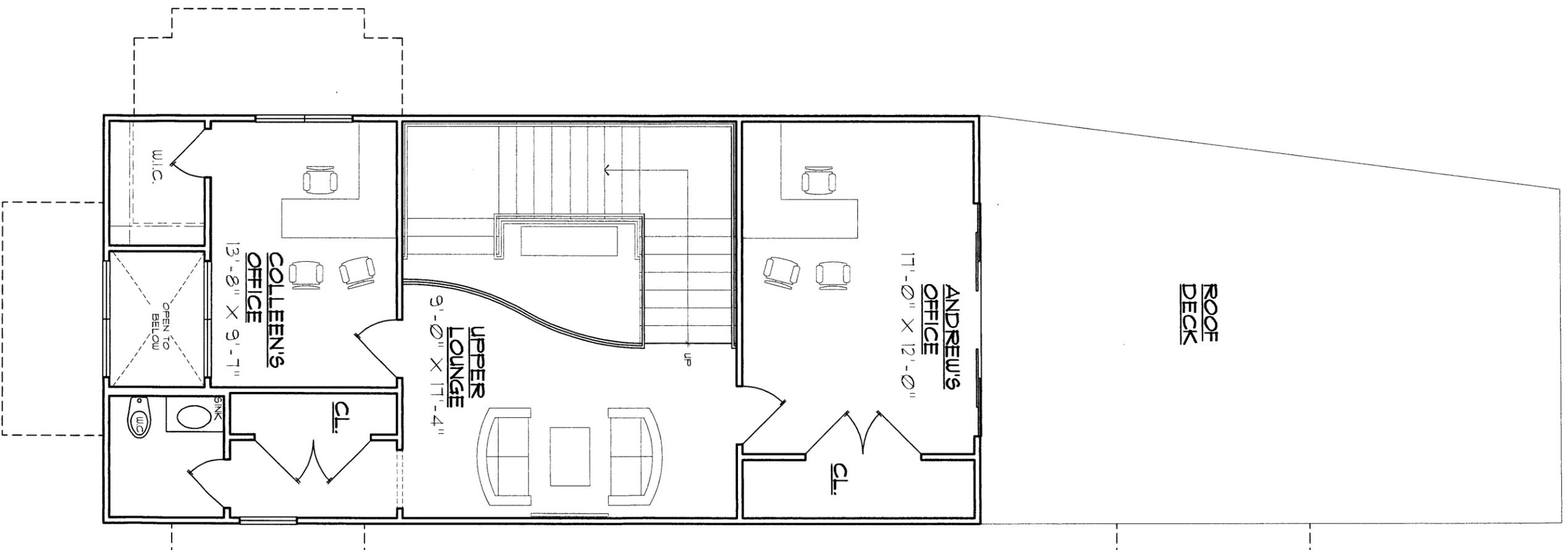
MCDONOUGH & CONROY, P.C. *Architects*

BRIDGEHAMPTON: 631.537.5600
 ISLANDIA: 631.491.6400

WWW.MCDONOUGHCONROY.COM **COPYRIGHT 2019**

The Atrium · 2385 Main Street · Bridgehampton · NY 11932

SCALE: 1/4" = 1'-0"
 AREA: 1648
 5-29-2019



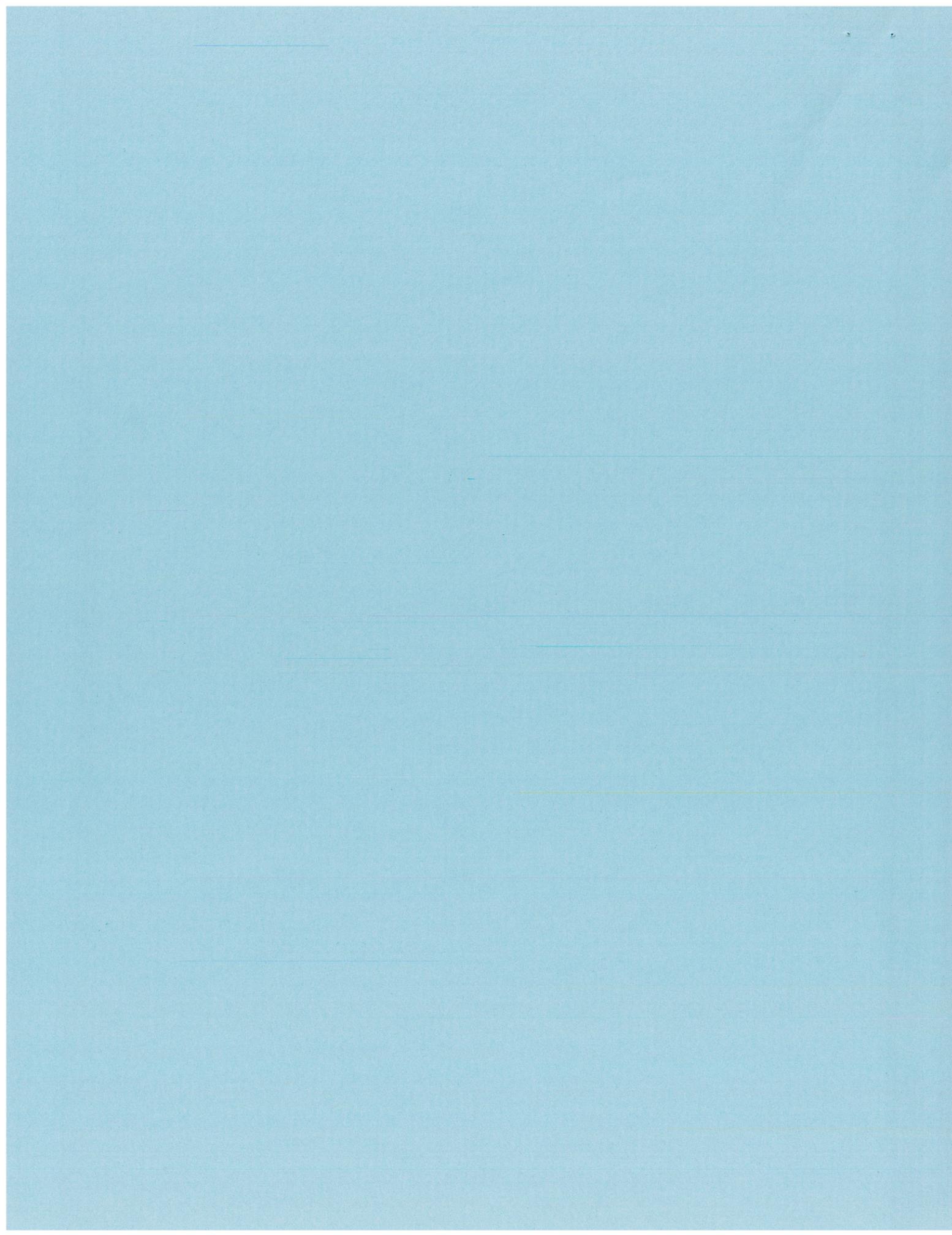
SECOND FLOOR PLAN

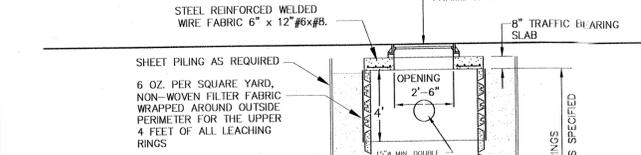
MCDONOUGH & CONROY, P.C. Architects

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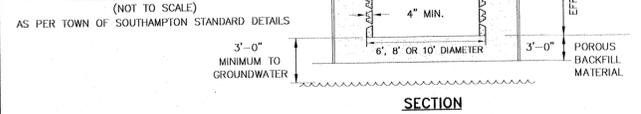
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SCALE: 1/4" = 1'-0"
 AREA: 734
 5-29-2019

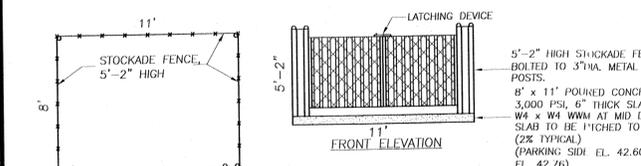




LEACHING CATCH BASIN DETAIL
(NOT TO SCALE)
AS PER TOWN OF SOUTHAMPTON STANDARD DETAILS



- LEACHING BASIN NOTES:**
1. LEACHING POOLS SHALL BE PRECAST CONCRETE CEMENT STRUCTURES AS MANUFACTURED BY SUFFOLK PRECAST INC. OR EQUIVALENT. SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL.
 2. ALL CONCRETE CEMENT USED IN THE MANUFACTURING OF PRECAST STRUCTURES SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 4000 P.S.I. IN 28 DAYS.
 3. ALL DRAINAGE STRUCTURES SHALL BE PLACED IN ACCEPTABLE LEACHING SOILS AS APPROVED BY THE ENGINEER. IN THE EVENT FAVOR LEACHING MATERIAL IS ENGINEERED, EXCAVATION IS TO BE CONTINUED TO SUITABLE MATERIAL & BACK FILLED AS DETAILED.
 4. NO TRENCH, PIT, OR OTHER EXCAVATION SHALL BE LEFT OPEN AND UNATTENDED. EXCAVATIONS SHALL BE PROTECTED AS DIRECTED BY THE ENGINEER WITH FENCES, BARRICADES, AND OTHER APPROVED METHODS.
 5. INVERT ELEVATIONS MAY BE ADJUSTED BY THE ENGINEER IN THE FIELD TO MEET FIELD CONDITIONS TO AVOID CONFLICT WITH UTILITIES AS ORDERED BY THE ENGINEER.
 6. ALLOW FOUR (4) INCHES FOR FINAL ADJUSTMENT OF CASTING. ADEQUATE BEARING WILL BE PROVIDED USING CONCRETE BLOCK, BRICK, #4/8 OR 1/2 MORTAR.
 7. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHIELDING AND SHORING DURING TRENCHING TO INSURE THE SAFETY OF WORKMEN AND THE GENERAL PUBLIC EXPOSED TO THE HAZARDS OF FALLING AND SLIDING MATERIAL. IN CONFORMANCE WITH THE REQUIREMENTS OF TITLE 29 CODE OF FEDERAL REGULATIONS, PART 1926, SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION (OSHA).
 8. BACKFILL AND COMPACTION SHALL BE IN 6\"/>



STORM DRAINAGE DESIGN - PARKING LOT

1. EXISTING LEACHING CATCH BASINS SHALL BE CLEANED AND MAINTAINED.
2. EXISTING PAVEMENT ELEVATIONS WILL BE MAINTAINED AT WEST WALL AND CURB.
3. PROPOSED PAVEMENT ELEVATIONS WILL MATCH EXISTING ELEVATIONS AT EAST CURB (PROPOSED), ADJACENT TO SIDEWALK.
4. PROPOSED CURB AND ASPHALT SHALL PROVIDE SMOOTH TRANSITIONS TO EXISTING PAVEMENT, SIDEWALK AND CURBS.
5. EXISTING DRYWELLS FOR EXISTING BUILDINGS (ROOF RUNOFF) TO REMAIN IN PLACE AND IN USE.
6. PIPING BETWEEN DRAINAGE STRUCTURES SHALL BE 15\"/>

- EXISTING STORM DRAINAGE**
AS PER SITE PLAN BY S.H.W.S. DATED SEPTEMBER 24, 2007.
(PARKING AREA + REAL ESTATE OFFICE)
V = 9567 S.F. x 0.9 x 2/12 = 1435.3 C.F. STORAGE REQUIRED
PROVIDED: (1) LEACHING CATCH BASIN AND (1) LEACHING POOL EACH 10' DIA. X 12' DEEP = 1642 C.F. PROVIDED
(LEACHING POOL LATER MODIFIED TO BE LEACHING CATCH BASIN.)

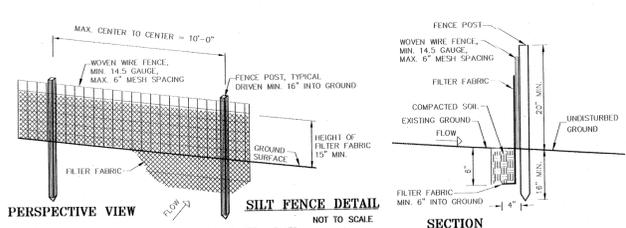
- NORTH LEACHING CATCH BASIN**
PARKING PAVEMENT =
V = (7572 P.V.M.T + EXIST. 3428 BLDG + 776 WALK) x 1.0 x 2/12 = 1929.3 C.F. STORAGE REQUIRED
USE EXISTING TWO 10' DIA. X 12' DEEP LEACHING STRUCTURES
PROPOSED ONE 10' DIA. X 6' DEEP LEACHING CATCH BASIN
2052.6 C.F. STORAGE PROVIDED
GRATE ELEV. = 41.45

- PROPOSED LEACHING CATCH BASIN SHALL BE PIPED TO EXISTING CATCH BASIN.
SOUTH LEACHING CATCH BASIN (NEAR PARKING STALL #20)
V = (1775 P.V.M.T + 845 OF PROP. BLDG.) x 1.0 x 2/12 = 436.7 C.F. REQUIRED
USE PROPOSED ONE 10' DIA. X 6' DEEP LEACHING CATCH BASIN
547.4 C.F. STORAGE PROVIDED
GRATE ELEV. = 41.16

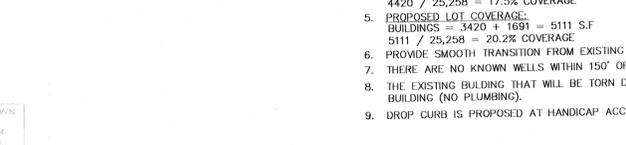
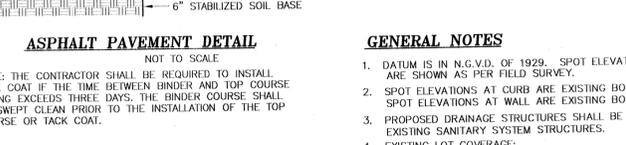
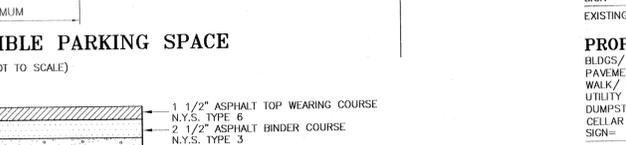
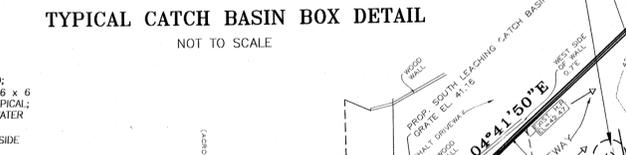
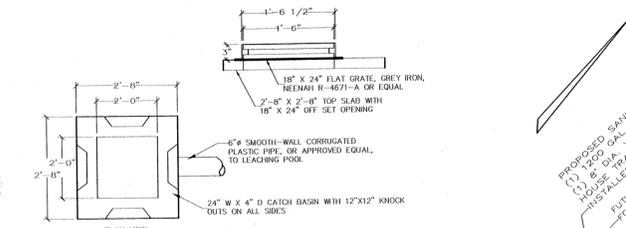
- EAST LEACHING CATCH BASIN (EAST OF BUILDINGS)**
V = (98.9 C.E. + 845 OF PROP. BLDG. + 788 WALKS) x 1.0 x 2/12 = 288.7 C.F. OF STORAGE REQUIRED
USE EXISTING ONE 6' DIA. X 6' DEEP LEACHING CATCH BASIN
290.4 C.F. OF STORAGE PROVIDED
GRATE ELEV. = 41.16

- REVISIONS:**
- REVISED: SEPTEMBER 10, 2019 (REV. DRAINAGE, NOTES, EXIST. PARKING, UTILITIES & ELEV.)
 - REVISED: JULY 24, 2019 (UTIL. LOC.)
 - REVISED: JUNE 25, 2019 (TOWN ENG. REVIEW)
 - REVISED: JUNE 19, 2019 (REV. PARKING CALCULATIONS, KEY MAP, BARS/SCALE)
 - REVISED: NOVEMBER 26, 2018 (REV. PARKING)
 - REVISED: FEBRUARY 13, 2018 (PROPOSED SCREENING)
 - REVISED: NOVEMBER 30, 2017 (TOTAL COVERAGE CALCULATIONS)
 - REVISED: SEPTEMBER 15, 2017 (REV. FLOOR AREAS, SANITARY & PARKING CALCULATIONS)
 - REVISED: JUNE 20, 2016 (PARKING CALCULATIONS)
 - REVISED: JUNE 9, 2016 (PROP. DUMPSTER, DIM. & WALKWAYS)
 - REVISED: MAY 17, 2016 (SAN. DESIGN)
 - REVISED: MAY 6, 2016 (REV. SITE PLAN)
 - REVISED: JUNE 10, 2015 (PROP. SAN. SYSTEM & PROFILE)
 - REVISED: APRIL 30, 2015 (PROP. SAN. SYSTEM & PROFILE)
 - REVISED: MARCH 22, 2015 (PROP. SAN. SYSTEM)
 - REVISED: JANUARY 28, 2015 (WATER LINES, SANITARY CONNECTIONS, PROFILE & ADJACENT WATER SUPPLIES)
 - REVISED: NOVEMBER 7, 2012 (ASILE DIM.)
 - REVISED: OCTOBER 23, 2012 (CADA ENTRANCE)
 - REVISED: OCTOBER 22, 2012 (PROP. PARKING LAYOUT)
 - REVISED: AUGUST 8, 2012 (PARTIAL TOPO & PROPOSED PARKING & DRAINAGE)
 - REVISED: MARCH 19, 2009 (FINAL)
 - DESIGNED: SEPTEMBER 24, 2007

LESTER HOLDEN, P.E. No. 49548
S. H. V. AND S. LAND SURVEYORS, P.C.
SQUIRES, HOLDEN, WEISENBACHER & SMITH
LAND SURVEYING AND PLANNING ~ ENGINEERING
SOUTHAMPTON, NEW YORK



- CONSTRUCTION NOTES FOR TEMPORARY SILT FENCE WITH STRAW BALES:**
1. WHEN WIRE FENCE IS TO BE FASTENED TO FENCE POSTS WITH WIRE RINGS OR STAPLES.
 2. THE FILTER FABRIC SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH ITS SPACES EVERY 24\"/>



TEST HOLE DATA
HOLE TO SCALE
TEST HOLE DUG AUGUST 30, 1994

1.0'	ML	DARK BROWN SILTY LOAM
2.0'	ML	BROWN LOAMY SILT
14.0'	SP	PALE BROWN FINE TO COARSE SAND

- EXISTING TOTAL LOT COVERAGE:**
- | | |
|---------------------------------|----------------------------|
| BLDG./ OVERHANGS= | 4627 S.F. |
| PAVEMENT/ CURB= | 9411 S.F. |
| WALK/ PATIO= | 1430 S.F. |
| UTILITY SLABS= | 123 S.F. |
| DUMPSTER PAD= | 91 S.F. |
| GENERATOR SLAB= | 35 S.F. |
| SIGN= | 13 S.F. |
| EXISTING TOTAL COVERAGE= | 15,730 S.F. (62.3%) |

- PROPOSED LOT COVERAGE:**
- | | |
|---------------------------------|----------------------------|
| BLDG./ OVERHANGS= | 5329 S.F. |
| PAVEMENT/ CURB= | 9610 S.F. |
| WALK/ PATIO= | 1412 S.F. |
| UTILITY SLABS= | 114 S.F. |
| DUMPSTER PAD= | 88 S.F. |
| CELLAR ENTRY= | 99 S.F. |
| SIGN= | 13 S.F. |
| PROPOSED TOTAL COVERAGE= | 16,665 S.F. (66.0%) |

- GENERAL NOTES**
1. DATUM IS IN N.G.V.D. OF 1929. SPOT ELEVATIONS AND CONTOURS ARE SHOWN AS PER FIELD SURVEY.
 2. SPOT ELEVATIONS AT CURB ARE EXISTING BOTTOM OF CURB ELEVATIONS. SPOT ELEVATIONS AT WALL ARE EXISTING BOTTOM OF WALL ELEVATIONS.
 3. PROPOSED DRAINAGE STRUCTURES SHALL BE A MINIMUM OF 20' FROM EXISTING SANITARY SYSTEM STRUCTURES.
 4. EXISTING LOT COVERAGE:
BUILDINGS = 3420 + 1000 = 4420 S.F.
4420 / 25,258 = 17.5% COVERAGE
 5. PROPOSED LOT COVERAGE:
BUILDINGS = 3420 + 1691 = 5111 S.F.
5111 / 25,258 = 20.2% COVERAGE
 6. PROVIDE SMOOTH TRANSITION FROM EXISTING TO NEW CURB.
 7. THERE ARE NO KNOWN WELLS WITHIN 150' OF SUBJECT PARCEL.
 8. THE EXISTING BUILDING THAT WILL BE TORN DOWN, IS A DRY BUILDING (NO PLUMBING).
 9. DROP CURB IS PROPOSED AT HANDICAP ACCESSIBLE PARKING.

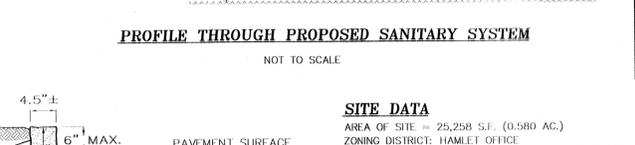
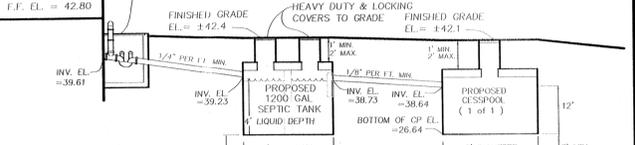
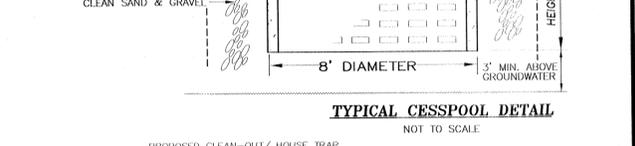
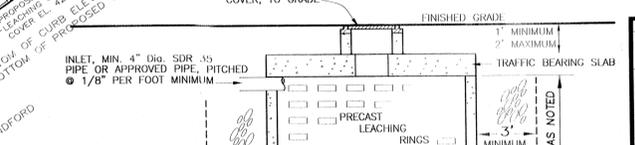
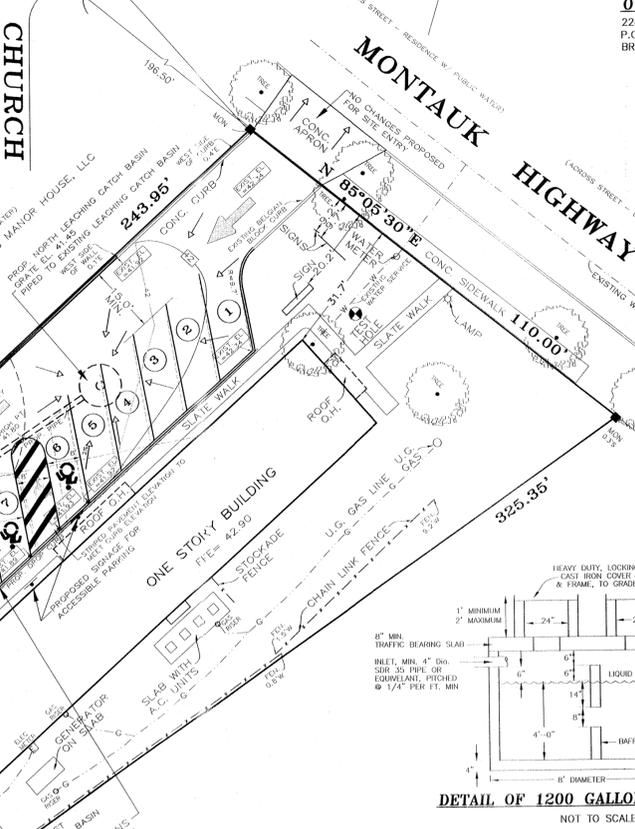
SITE DATA
AREA OF SITE = 25,258 S.F. (0.580 AC.)
ZONING DISTRICT: HAMLET OFFICE
PRESENT USE = OFFICE (REAL ESTATE) & STORAGE
FUTURE USE = OFFICE (REAL ESTATE) & OFFICE
FIRE DISTRICT: BRIDGEHAMPTON FIRE DISTRICT
POSTAL DISTRICT: BRIDGEHAMPTON
SCHOOL DISTRICT: BRIDGEHAMPTON

MAP OF PROPERTY FOR 2287 MONTAUK HIGHWAY, LLC SITUATE BRIDGEHAMPTON TOWN OF SOUTHAMPTON SUFFOLK COUNTY, NEW YORK
AREA = 25,258 S.F. (0.580 ACRE)
SCALE: 1" = 20'
SHEET 1 OF 2

SUFFOLK COUNTY TAX MAP
DISTRICT 0900
SECTION 086.00
BLOCK 01.00
PARCEL 002.000

STEPHEN D. LEMANSKI, P.E. No. 59905
P.O. BOX 1538
SOUTHAMPTON, NEW YORK 11969

DATE _____ SIGNATURE _____
SUFFOLK COUNTY DEPARTMENT OF HEALTH SERVICES



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SEP 10 2019
TOS PLANNING DIVISION

10700SP.dwg V1 BK 925 PG 128 BK 851 PG 12, BK 831 PG 158, BK 808 PG 60, BK 654 PG 145-148

WARNING: IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF THE REGISTERED ARCHITECT TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY

REVISIONS:
ISSUED FOR ZBA SUBMISSION: 6-25-2019
ISSUED FOR REVIEW: 6-27-2019

DESCRIPTION	DATE
CHECKED BY:	
M.T.	
DRAWN BY:	
BG / MT	

CONSULTANT'S:

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RECEIVED
SEP - 4 2019
TOS PLANNING DIVISION

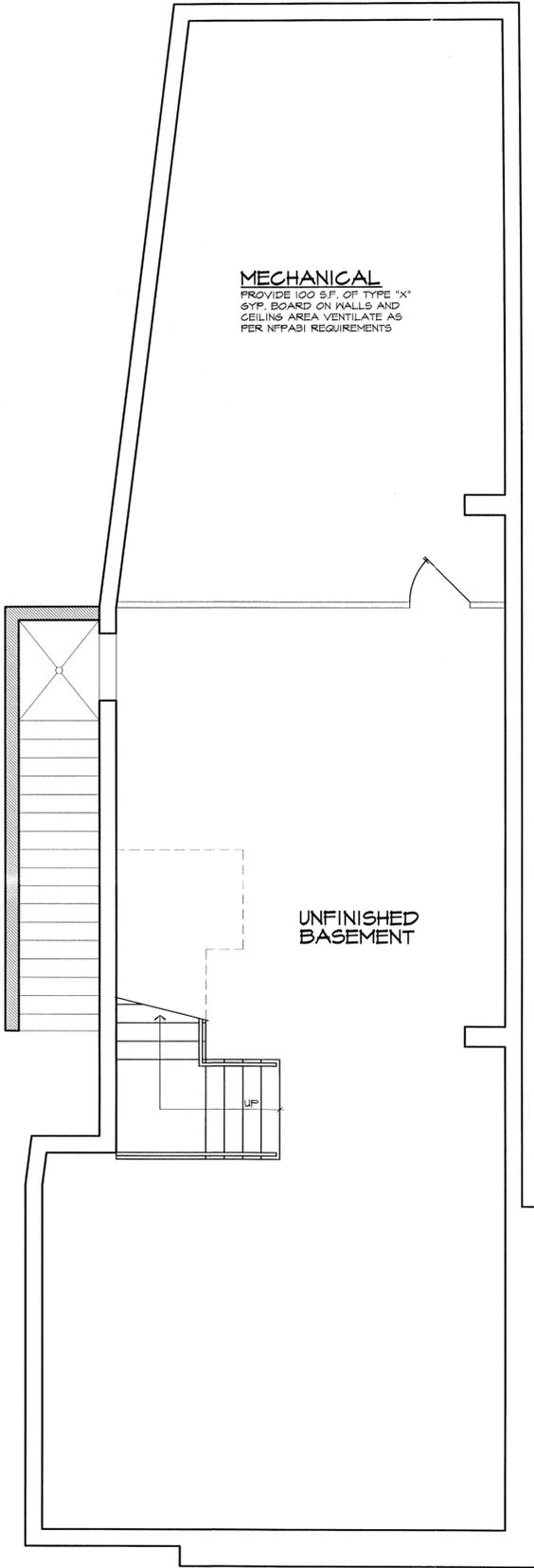
PROPOSED OFFICE BUILDING:
SAUNDERS & ASSOCIATES
2287 MAIN STREET
BRIDGEHAMPTON, NY

MCDONOUGH & CONROY, P.C. Architects
ISLANDIA: 631.491.6400
BRIDGEHAMPTON: 631.537.5600
WWW.MCDONOUGHCONROY.COM
3760 Expressway Drive South • Suite 200 • Islandia • NY 11749
The Atrium • 2385 Main Street • Bridgehampton • NY 11932

JOB NO.: 19-030
DATE: 6-25-2019
SCALE: AS NOTED
Z: /19DWGS/19-030



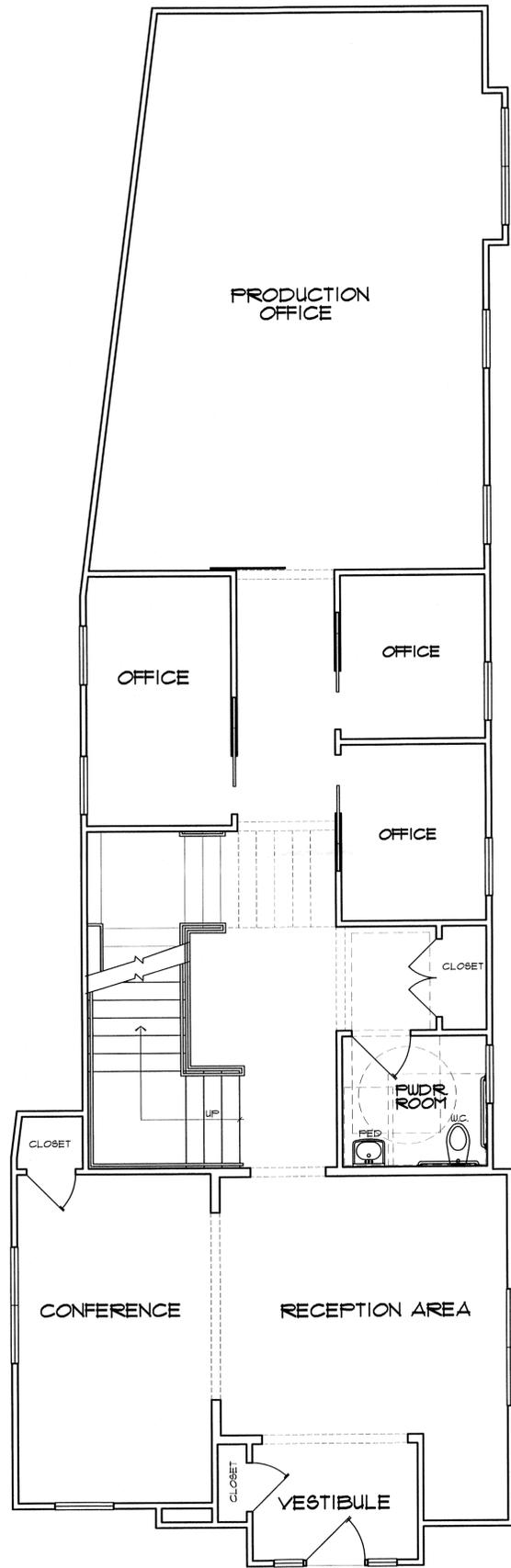
A2 TO X



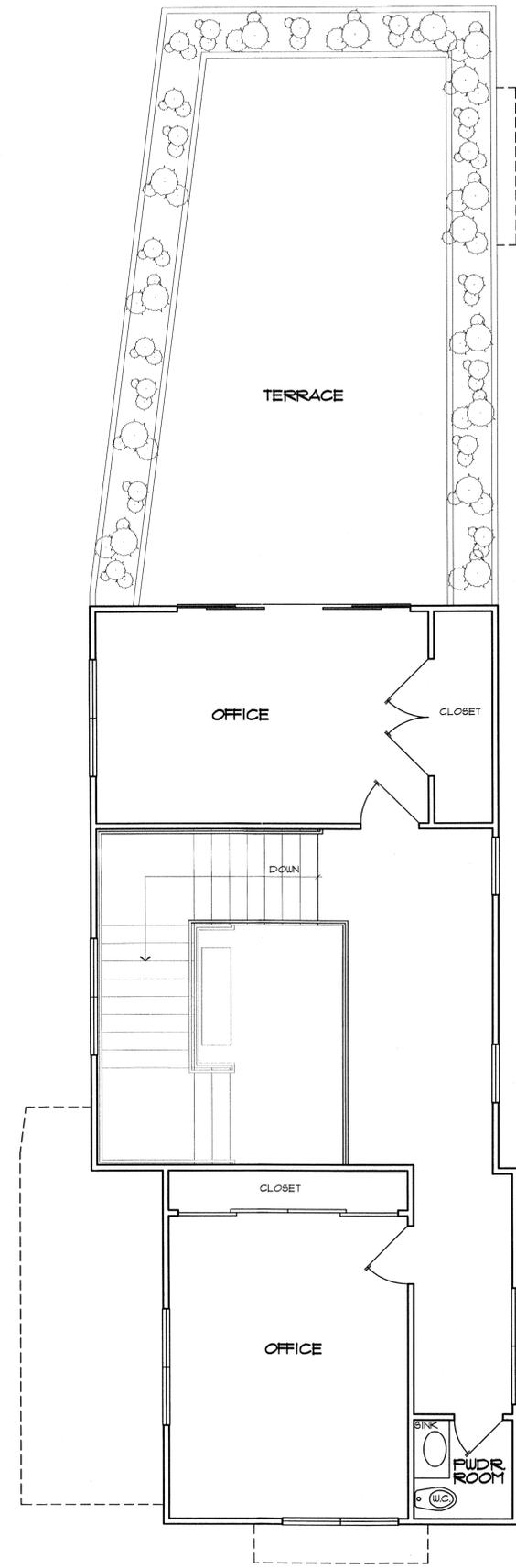
UNFINISHED BASEMENT PLAN SCALE: 1/4" = 1'-0"

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REVISIONS:
 ISSUED FOR ZBA SUBMISSION: 6-25-2019
 ISSUED FOR REVIEW: 6-27-2019



FIRST FLOOR PLAN
 1,667 SQ. FT. SCALE: 1/4" = 1'-0"
 6-26-2019



SECOND FLOOR PLAN
 716 SQ. FT. SCALE: 1/4" = 1'-0"
 6-26-2019

DESCRIPTION	DATE
CHECKED BY:	MT.
DRAWN BY:	BG / MT

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PROPOSED OFFICE BUILDING:
 SAUNDERS & ASSOCIATES
 2287 MAIN STREET
 BRIDGEHAMPTON, NY

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 www.mcdonoughconroy.com
 3760 Expressway Drive South, Suite 200, Islandia, NY 11749
 The Atrium, 2385 Main Street, Bridgehampton, NY 11932

JOB NO.: 19-030
 DATE: 6-25-2019
 SCALE: AS NOTED
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A3 **X**

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REVISIONS:
ISSUED FOR ZBA SUBMISSION: 6-25-2019
ISSUED FOR REVIEW: 6-27-2019



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

DESCRIPTION	DATE
CHECKED BY:	
M.T.	
DRAWN BY:	
Bg/MT	

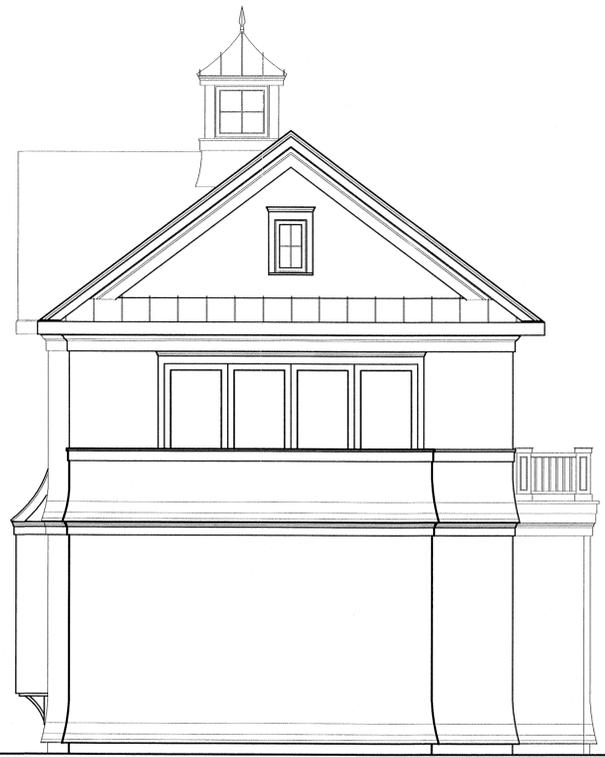
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BRIDGEHAMPTON, NY



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

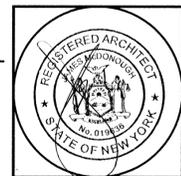


REAR ELEVATION

SCALE: 1/4" = 1'-0"

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JOB NO.: 19-030
DATE: 6-25-2019
SCALE: AS NOTED
Z: /19DWGS/19-030



A4 X