

DEPARTMENT OF LAND MANAGEMENT
PLANNING BOARD
116 Hampton Road
Southampton, NY 11968

Phone: (631) 287-5735
Fax: (631) 287-5706
www.southamptontownny.gov

TOWN OF SOUTHAMPTON



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TOWN SUPERVISOR

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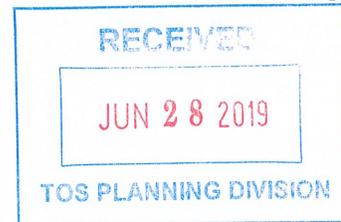
SITE PLAN/SPECIAL EXCEPTION APPLICATION FORM

This application form is required as part of any request to process the action listed below. In addition, Chapter §330 of the Town of Southampton Code requires specific material to be submitted in conjunction with this form. Other required items are indicated on the attached application checklist. It is the applicant's responsibility to insure that application package is complete and accurate. Incomplete applications will not be processed.

- All applications must be completed in full and comply with §330 of the Town Code. Incomplete application packages will not be accepted.
- These instructions and the application form shall be read carefully and understood before completing. Any questions should be referred to the Planning Division, Ph: 631-287-5735.

- As per §330-183 of the Zoning Law, a complete Site Plan application shall consist of the following: *(check those appropriate)*

- Application form and copies in appropriate numbers *(a minimum of fifteen copies and additional copies if necessary)*
- Appropriate Site Plan review fee (See § 330-183B)
 - Area to be improved is less than 500 sq.ft. **\$1,100**
 - Area to be improved is greater than or equal to 500 sq.ft. and less than 10,000 sq.ft. **\$2,100**
 - Area to be improved is greater than or equal to 10,000 sq.ft.: **\$.25 per sq.ft.** *(not to exceed \$15,000)*



- Site Plans, in appropriate quantity *(a minimum of fifteen copies and additional copies if necessary)* complying with minimum submission requirements listed in §330-183-C. The site plan may include landscape/grading plans, lighting plans, drainage plans, architectural building elevations and floor plans
 - Appropriate Environmental Assessment Form (EAF, if necessary. Check Town Code §157 and with the Planning Department).
- A complete Special Exception application shall consist of the four items (a-d) mentioned in number 3 above, plus the following (check those appropriate, write NA where not applicable).
 - Legal petition, signed and notarized, explaining in detail how the proposed project will comply with Special Exception Standards.
 - Fee of **\$1,100** (plus **\$325** for special conditions and safeguards) (separate from review fee)

5. A minimum of fifteen sets of applications and plans are required. Additional copies of the application (SP and/or SE) and site plan may be necessary, if the following conditions are met:

- 2- Wetlands Permit required (See Chapter §325 of Southampton Town Code)
- 1- Project fronts a County Road
- 3 - Project fronts a State Road
- 1 - Special Exception Permit
- 1 - Project located in Pine Barrens compatible growth area or core area

_____ Total Copies

6. Application is hereby made to the Southampton Town Board for a Construction Permit for buildings and other structures customarily accessory and incidental to agricultural production as defined by Section 301 of the New York State Agricultural and Markets Law and in accordance with the provisions of the Zoning Law of the Town of Southampton Article X Agricultural Overlay District, Section § 330-50

Farmlands Preservation Program. Further, nine (9) copies of the following are submitted herewith (check those appropriate, write NA where not applicable).

- A copy of the approved subdivision map defining the grant easement (agricultural reserve) and the location of the proposed construction, if applicable.
- A copy of the recorded grant easement (agricultural reserve) or development rights indenture
- A copy of the Planning Board resolution approving the subdivision plan and other covenants, if applicable.
- A site plan, at a scale of no less than one (1) inch equals forty (40) feet, prepared by an architect, civil engineer, or surveyor, and consisting of the following information unless waived by the Farmland Permit Administrator.
- Agricultural Construction Permit Application Fee **\$1,100.00**

7. A Fee Schedule is included in this package.

PLEASE NOTE: If the site was subject of a previous site plan approval then new site plans may be necessary for the Special Exception request, however, the required number of as built surveys and petitions are still required.

Application Name: North Sea General Store

SCTM No.: 900-96-2-1

Property Address: 1360 North Sea Road

I. General Information

a) Applicant's Name: En-Consultants
Address: 1319 North Sea Road, Southampton, NY 11968
Phone No.: 631-283-6360

b) Name of Business (Existing or Proposed): North Sea General Store
Address: 1360 North Sea Road, Southampton, NY

c) If the applicant is a corporation, give the name and title of the responsible Officer:
Name: Angel Sangurima
Title: President

d) Landowner's Name: AIDEN A.S. Inc.
Address: 1360 North Sea Road, Southampton, NY 11968

e) Licensed Architect, Landscape Architect, Civil Engineer or Land Surveyor
Name: Barylski Land Surveying
License No: 49376
Address: P.O. Box 1302, Bridgehampton, NY 11932
Telephone: 631-537-7944

f) If the applicant does not own the property, prepare the Owner Endorsement Form at the end of this packet establishing authorization of the applicant's proposed subdivision of his land.

g) All communications with regard to this subdivision shall be addressed to the following person until further notice:
Name: Susanna F. Herrmann
Address: En-Consultants, 1319 North Sea Road, Southampton, NY 11968
Phone No: 631-283-6360

II. Proposed Site

a) General location of Property east side
of, North Sea Road, approx. 0
(street or road)

(feet) (~~north~~/~~east~~/~~south~~/~~west~~)
of, Cedar Lane, m. North Sea
(nearest interesting street)
(hamlet)

b) Total area under consideration: +/-85 sq. ft. or
N/A acres.

c) Zoning District(s): HC
Zoning Districts of adjoining Properties: HO, HC, R-20

- d) Zoning Overlay(s) (Please check all that apply)
- i. Agricultural*
 - ii. Aquifer Protection
 - iii. Tidal Flood Plain
 - iv. Tidal Wetland & Ocean Beach
 - v. Old Filed Map
 - vi. Archaeological* (NYS Circles and Squares map)

*Include a survey showing the location of Class I and II prime agricultural soils

e) Latest Deed(s) describing this parcel(s) is/are recorded in the Suffolk County Clerk's Office as Follows:

DATE:	LIBER:	PAGE:
11/5/15	12841	340
1/16/03	12233	666

f) Are there any encumbrances or liens against this land other than mortgages? Yes No

g) Description of Project:

In the space below, please provide a description of the project, the proposed use and operation thereof, including a detailed explanation of the design concept, the objective of the project sponsor and how the project is or is not in compliance with the Town Code.

Additional sheets may be added if necessary

Handicap ramp is proposed at front entrance to store.

III. Characteristics of Site and Surrounding Lands

a. Current land use of site (agricultural, commercial, undeveloped)

General store/delicatessen with apartment above.

b. Current conditions of site (building, brush, etc.)

Two story building, detached garage, paved parking area.

c. Character of surrounding lands (within 200 feet) (residential, commercial, agriculture, wetlands, etc)

Residential to north, south and east; residences and office west.

IV. Nature of Use (i.e. retail, office, warehouse): Delicatessen and apartment

IV. Nature of construction:

a. Anticipated construction time: 2 weeks

b. Will Development be staged? YES: NO:

V. Impact:

a. Anticipated increase in number of residents, shoppers, employees, etc.

None

VI. Zoning:

a. Has an application been made to the Zoning Board of Appeals for this property? YES: NO:

If yes, please list the name of application and date of determination.

b. Is a Change of Zone requested at this time? YES: NO:

VII. Buildings:

a. Are all buildings and structures shown on the survey? YES: NO:

b. Existing Building Area Coverage: Square Feet: 1,680 Percent Lot: 12

c. Proposed Building Area Coverage: Square Feet: N/A Percent Lot: N/A

d. Height of Proposed Buildings: Feet: N/A Stories: N/A

e. Residential Buildings: Number of Dwelling Units by Size

N/A

f. Non-Residential Buildings: Total Floor area and Total Sales area

1,200 sq. ft. retail, 2,400 total sq. ft.

g. Is a cellar proposed? YES: NO:

h. Proposed siding material: N/A

Roofing material: N/A

Construction Type: N/A

i. Are fire-walls proposed or necessary? YES: NO:

j. Standard Industrial Classification Code Number:

(as identified in the Table of Use Regulations listed in the Town Code)

VIII. Utilities

The site will be served by the following utilities:

Fire District: North Sea Fire Department

Water District or Company: SCWA

Electric and/or Gas Company: PSEG

Post Office: Southampton

School District: Southampton

IX. Signs

- a. Are there any existing free-standing or attached signs? YES: NO:
(all signs must be indicated on site plan.)
- b. Have sign permits been obtained for all existing signs? YES: NO:
- c. Are free-standing or attached signs proposed? YES: NO:

**Plans indicating location, size, colors and materials of all proposed signs must be submitted with the site plan application. A Sign Permit from the Building Department must be obtained for all signs.

X. Parking

- a. Number of off-street parking spaces required as calculated using the Schedule of Off-Street Parking Space Requirements for Non-Residential Uses, listed in Section 330-94 of the Town Code: 12
- b. Number of existing parking spaces: 15
- c. Number of handicap parking spaces provided (must be at least 5% of total parking spaces provided.): 0
- d. Number of truck loading spaces: 0
- e. Is a parking waiver requested? YES: NO: If yes, for how many spaces? _____

Note: a formal letter requested waiver must be submitted separately along with this application

XI. State Environmental Quality Review Act (SEQR)

(Pursuant to Part 617, NYCRR and Chapter 157 of Town Code)

- a. Do any tidal or freshwater wetlands occur on the subject site? YES: NO:
- b. Are the wetlands and/or the proposed activity regulated by the following agencies?
 New York State Department of Environmental Conservation: YES: NO:
 U.S. Army Corps of Engineers: YES: NO:
 Southampton Town Conservation Board: YES: NO:
 Southampton Town Trustees: YES: NO:
- c. Has a permit been obtained from any of the above agencies? YES: NO:
If yes, which ones? _____
- d. Is the site located in a designated critical environmental area? YES: NO:
If yes, which ones? _____
- e. Is the proposed action a Type I, Type II, or unlisted action? Type II

Note: Part I of an Environmental Assessment Long Form must be submitted for all Type I and Unlisted Actions

***PLEASE SUBMIT 15 COPIES OF APPLICATION AND PLANS. ***

***Note:** A minimum of 15 copies is required. Additional copies may be necessary.

I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto and true and correct.

Susanna F. Herrmann, En-Consultants

Applicant's Name


Applicant's Signature

Sworn before me this 28th day of June 2019



Notary Public

KIM H. STEPHENS
NOTARY PUBLIC
STATE OF NEW YORK
COMMISSION NO. 5015931
QUALIFIED IN SUFFOLK COUNTY
EXPIRES AUGUST 2, 2021

SITE PLAN/SPECIAL EXCEPTION APPLICATION FORM CHECK LIST
THIS FORM TO BE COMPLETED BY APPLICANT

Project Name: North Sea General Store

SCTM No.: 900-96-2-1

**Property Address
or Location:** 1360 North Sea Road, Southampton, NY 11968

Contact Person: Wilson

Application submitted by: Property Owner Owner's Agent

Date: _____

**SUBMISSION REQUIREMENTS
IS ITEM INCLUDED?
PLEASE CHECK YES OR NO**

	YES	NO
Fees:		
Site Plan:		
1. The improved or altered area is 500 SF or less	✓	___
2. The improved area of the project is greater than 500 SF but does not exceeds 2 acres	___	✓
3. The improved area of the project exceeds 2 acres	___	✓
Special Exception Fee	___	✓
Fee Waiver Requested	___	✓
Site Plan Application Form	✓	___
Special Exception Legal Petition	___	✓

Site Plan: Legal Data

Site plan @ 1" = 40' or greater	___	✓
Key Map @ 1" = 200' or greater	___	✓
Name and Address of Owner of Record	✓	___
Name and Address of person/firm preparing map	✓	___
Signed/Stamped	✓	___
Date	✓	___
North Arrow	✓	___
Scale (Graphic or Written)	✓	___
Property Description (error of closure not exceed 1 in 10,000)	✓	___
Location, Names, Ownership of adjacent streets and curblines	✓	___

Adjoining lands and owners	✓	—
Public easements, setbacks, or dedicated area on site or adjoining land	—	✓
Outline of existing easements, deed restrictions or covenants on site	—	✓
Existing Zoning	—	✓

Site Plan: Natural Features

Existing contours at max. 2' intervals, or spot elevations (Identify source of contour information)	—	✓
Approximate boundaries of areas subject to flooding	—	✓
Identification of unique natural features (wetlands, steep slopes)	—	✓
Identification of cultural features on site or adjacent	—	✓
Archeological, historic buildings, agricultural fields on or adjacent	—	✓

Site Plan: Existing Structures and Utilities

Building footprints and uses not requiring buildings	✓	—
All paved areas, parking areas, sidewalks, vehicular access to street	—	✓
Existing culverts (dimension and grades) flow direction and grades	—	✓
Underground/above ground utilities on site and adjacent		
Electrical Service	✓	—
Water Mains	—	✓
Sewer Mains	—	✓
All existing site structures (including fences)	✓	—
Location and use of all buildings and structures within 200'	—	✓
Nearest Fire Hydrant, cisterns, other fire protection	—	✓

Site Plan: Proposed Development

Location of building or structures <i>(Indicate all setbacks and horizontal distances from existing structure)</i>	—	✓
Location and design of non-structural elements (parking, loading areas)	✓	—
Parking calculations		
Automobile	—	✓
Truck	—	✓
Outdoor lighting plan – location & lamp Design (Lightening power w/ foot-candles indicated on site plan, and time of use)	—	✓
Grading and drainage plan	—	✓
Drainage calculations	—	✓
Proposed contours/spot elevations	—	✓
Sewage disposal treatment	—	✓

Storage areas for materials, vehicles, equipment, supplies, products	___	✓
Building Elevations including:	___	✓
Description of materials, colors	___	✓
Sign Plans	___	✓
Proposed location	___	✓
Design	___	✓
Landscape Plans	___	✓
Plant List	___	✓
Size and Quantity	___	✓
Cablevision installations, location of water valves, water supply	___	✓
Outdoor storage areas (located in side or rear yard and screened or fenced)	___	✓
Phased development plans (when appropriate)	___	✓
Compliance with ZBA Variance (if applicable)	___	✓

Additional Materials:

Certificate of Appropriateness (Landmarks & Historic District)	___	✓
Wetland Permit Application (if applicable)	___	✓
Sign Permit Application (if applicable)	___	✓
Owners Endorsement	✓	___
Disclosure Affidavit	✓	___
Agriculture Data Statement	___	✓

Additional Comments:

For all information that is not provided state "No".
If the applicant believes these items are not applicable, indicate such and give reasoning.

Other comments about the submission may be provided here.

Susanna F. Herrmann, En-Consultants
Applicant's Name


Applicant's Signature

TOWN OF SOUTHAMPTON

DEPARTMENT OF LAND MANAGEMENT
116 HAMPTON ROAD
SOUTHAMPTON, NY 11968

PHONE: (631) 283-6000
WWW.SOUTHAMPTONTOWN.NY.GOV



JAY SCHNEIDERMAN
TOWN SUPERVISOR

KYLE P. COLLINS, AICP
TOWN PLANNING AND
DEVELOPMENT ADMINISTRATOR

PLEASE NOTE: If ownership is held jointly or in partnership, each owner and/or partner must sign a separate owner's endorsement. If the owner or owners are making the application, this endorsement is not required.

OWNER'S ENDORSEMENT

STATE OF NEW YORK)

ss:

COUNTY OF SUFFOLK)

Angel Sangurima, President
Aiden A.S. Inc.

_____, being duly sworn, deposes and says:

- I am: (check one)
- 1. the sole owner in fee
 - 2. a part owner in fee
 - 3. an officer of the corporation which is the owner in fee of the premises described in the foregoing application.
 - 4. designated party authorized to act pursuant to a trust or other legal document.
 - 5. member/owner(s) of Limited Liability Corporation (LLC).

(if you checked #3, #4 or #5, please provide proof of legatee (i.e.: Corporate Resolution; Surrogate Letter; Executor of the Will; Certified Letter of Testamentary; Letter of Administration; Attorney-Opinion Letter; Letter of Probate; Power of Attorney, etc.)

I reside at 1360 North Sea Road
Mailing Address
Southampton, NY 11968

Hamlet/Post Office/Village State Zip Code

I have authorized Susanna Herrmann, En-Consultants
to make the foregoing application to Southampton Town for approval as described herein.

Signature
Angel Sangurima, President
Aiden A.S. Inc.

(If owner is a corporation, please indicate name of corporation
and the title of the corporate officer whose signature appears above)

Sworn before me this

27 day of February, 2019
Mary H. Egan
Notary Public

MARY H. EGAN
NOTARY PUBLIC
STATE OF NEW YORK
COMMISSION NO. 01EG6367322
QUALIFIED IN SUFFOLK COUNTY
EXPIRES 11/13/2021

TOWN OF SOUTHAMPTON

DEPARTMENT OF LAND MANAGEMENT
116 Hampton Road
Southampton, NY 11968
631-283-6000
www.southamptontownny.gov



KYLE P. COLLINS, AICP
TOWN PLANNING AND
DEVELOPMENT ADMINISTRATOR

JAY SCHNEIDERMAN
TOWN SUPERVISOR

Open Government Disclosure Form

(Zoning Board of Appeals, Planning Board, Conservation Board, all other Land Management Review)

STATE OF NEW YORK)

SS:

COUNTY OF SUFFOLK)

Angel Sangurima, President
Aiden A.S. Inc.

_____, being duly sworn, deposes and says:

Print Name

I am the owner and/or applicant for a project that is the subject of a pending application before the Southampton (Check one)
 Zoning Board of Appeals, Planning Board, Conservation Board all other Land Management Review. I make this affidavit under penalty and swear to the truth herein. I am aware that this affidavit is required by General Municipal Law §809 and Southampton Town Code Chapter 23 and that I shall be guilty of a misdemeanor should I knowingly or intentionally fail to make all disclosures herein. I am also aware that I may be subject to the penalties in Southampton Town Code §23-14 should I knowingly or intentionally fail to make all disclosures herein.

1. The application name is: 1360 North Sea Rd., Southampton
2. I reside at 1360 North Sea Road, Southampton, NY 11968
3. The officers of the applicant corporation/owner corporation are as follows:
 Pres. Angel Sangurima Sec. _____
 Vice Pres. _____ Treas. _____
4. Do any of the following individuals have an interest in the owner or applicant (as defined on page iii, note "A")?

	<u>Yes</u>	<u>No</u>
A. Any official of New York State	<input type="checkbox"/>	<input checked="" type="checkbox"/>
B. Any elected or appointed official or employee of Southampton Town or Suffolk County	<input type="checkbox"/>	<input checked="" type="checkbox"/>

If the answer to Question 4 is YES, General Municipal Law §809 and Town Code Chapter 23 require that you disclose the name and the nature and event of the interest of said individual(s) in the owner or applicant.

<u>Name</u>	<u>Residence</u>	<u>Nature of Interest</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____

5. During the 24 months before the filing of this application, have any of the following individuals made campaign contributions exceeding \$500 in total, in cash or in kind, to the campaign for public office of any Town officer or employee, to any individual campaign committee, or to any political party committee designated to accept donations on such Town official's or employee's behalf as a candidate for public office?

- | | <u>Yes</u> | <u>No</u> |
|---------------------------------|--------------------------|-------------------------------------|
| 1. Owner | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 2. Applicant | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 3. Agent for owner or applicant | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 4. Attorney | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 5. Other | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

If the question to Question 5 is yes, Town Code Chapter 23 requires that the information be provided below:

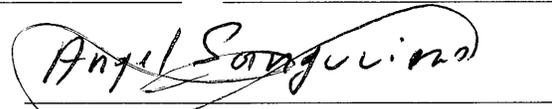
<u>Name/Address</u>	<u>Amount/Date</u>	<u>Name of Campaign Committee</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____

6. During the preceding 24 months before the filing of this application, have any of the following individuals employed any Town officer or employee or a relative thereof involving compensation in an amount of \$500 or more? Said compensation may be directly made, or indirectly made through a corporation or business interest held by any Town officer or employee or their relative.

- | | <u>Yes</u> | <u>No</u> |
|---------------------------------|--------------------------|-------------------------------------|
| 1. Owner | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 2. Applicant | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 3. Agent for owner or applicant | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 4. Attorney | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 5. Other | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

If the answer to Question 6 is yes, Town Code Chapter 23 requires that the information be provided below:

<u>Name</u>	<u>Position</u> (Owner, Agent, Attorney, Other)	<u>Corporation</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____



Signature Angel Sangurima, President
Aiden A.S. Inc.

Sworn to before me

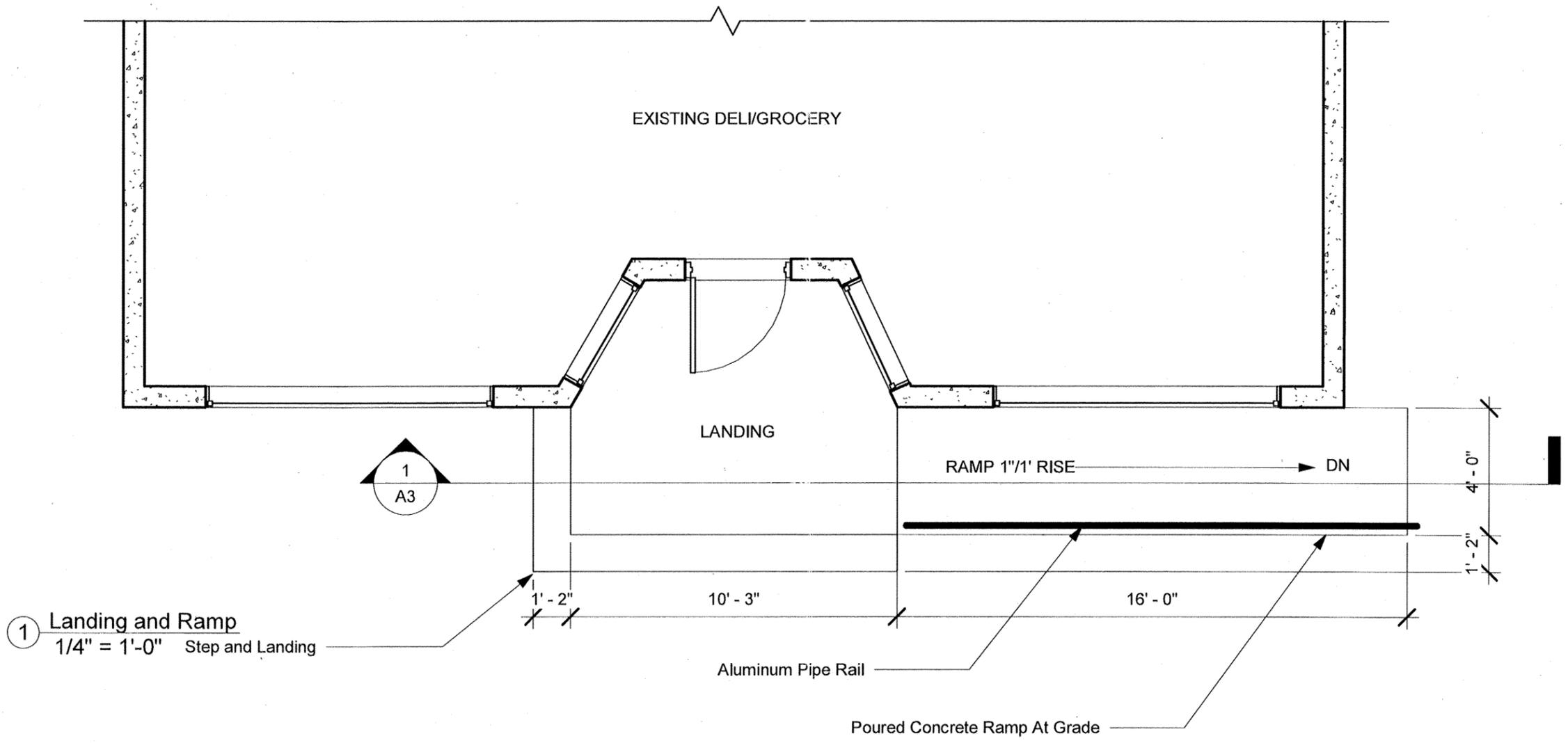
This 22 day of February, 2019



Notary Public

MARY H. EGAN
NOTARY PUBLIC
STATE OF NEW YORK
COMMISSION NO. 01E66367322
QUALIFIED IN SUFFOLK COUNTY
EXPIRES 11/13/2021

RECEIVED
 AUG - 6 2019
 TOS PLANNING DIVISION



① Landing and Ramp
 1/4" = 1'-0" Step and Landing

Edward A. Batcheller
 7 Jagger Lane
 Westhampton NY
 11977

Alden A.S. Inc
 1360 North Sea Road
 Southampton, NY 11968
 Accessory Structure

No.	Description	Date

Plan		A1
Project number	4419	
Date	4/4/19	
Drawn by	EAB	
Checked by	CF	Scale 1/4" = 1'-0"



① West
1/4" = 1'-0"

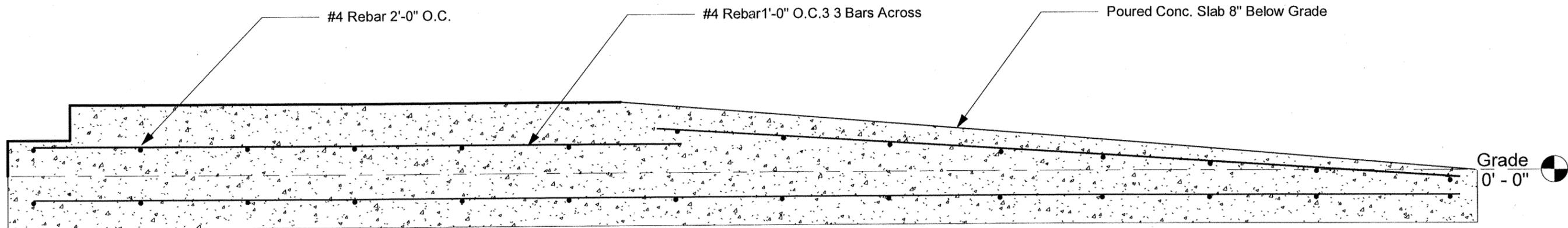
Grade
0' - 0"

Edward A. Batcheller
7 Jagger Lane
Westhampton NY
11977

Alden A.S. Inc
1360 North Sea Road
Southampton, NY 11968
Accessory Structure

No.	Description	Date

Elevations		A2
Project number	4419	
Date	4/4/19	
Drawn by	Author	
Checked by	Checker	Scale 1/4" = 1'-0"



① Section 1
1/2" = 1'-0"

Edward A. Batcheller
7 Jagger Lane
Westhampton NY
11977

Alden A.S. Inc
1360 North Sea Road
Southampton, NY 11968
Accessory Structure

No.	Description	Date

Section		A3
Project number	4419	
Date	4/4/19	
Drawn by	Author	
Checked by	Checker	
Scale 1/2" = 1'-0"		