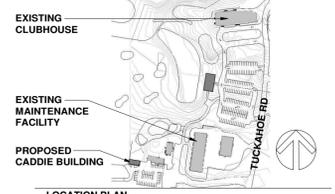
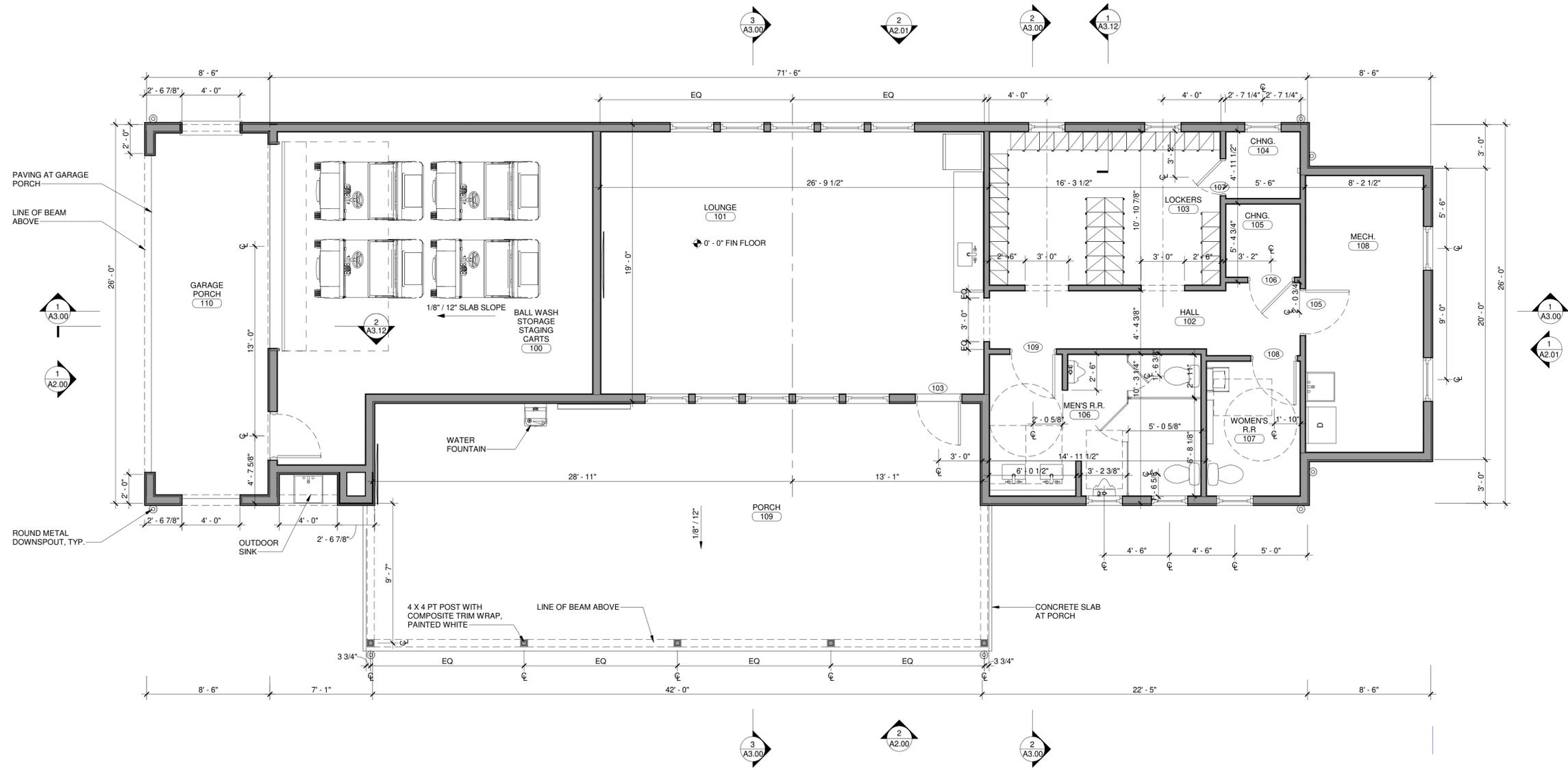


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CADDIE BUILDING

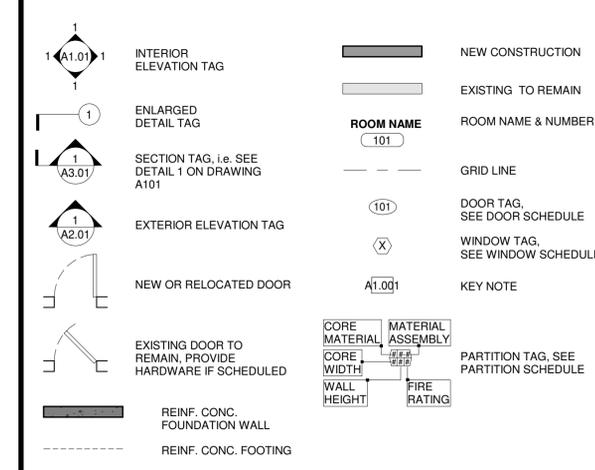
SHINNECOCK HILLS
GOLF CLUB
200 TUCKAHOE ROAD
SOUTHAMPTON, NY 11968

1 PROPOSED FLOOR PLAN
1/4" = 1'-0"



ISSUE & REVISIONS		
No.	DATE	DESCRIPTION
1	10/10/2019	ISSUE FOR SCHEMATIC PRICING
2	03/18/2020	ISSUE FOR PLANNING BOARD

LEGEND



FOUNDATION AND FRAMING NOTES

- REFER TO STRUCTURAL ENGINEER DRAWINGS FOR APPLICABLE DETAILS AND SPECIFICATIONS.
- PROVIDE HOLD-DOWNS FOR CONTINUOUS LOAD PATH CONSTRUCTION WITH SIMPSON HURRICANE TIES. TIES TO BE INSTALLED CONNECTING RIDGE BEAM TO RAFTER; RAFTER TO TOP PLATE; TOP PLATE TO STUDS; STUDS TO SILL PLATE; AND SILL PLATE TO FOUNDATION. PROVIDE HEADER STUD STRAPS AT ALL OPENINGS AND RAFTER-TO-RAFTER OVER-RIDGE STRAPPING. FOLLOW NAILING SCHEDULE PER STATE BUILDING CODE FOR FRAMING AND SHEATHING.
- INSTALL JOIST HANGERS ON ALL FLUSH CONNECTIONS.
- PACK OUT HEADERS TO DEPTH OF WALL CAVITY WITH RIGID INSULATION.
- PROVIDE DOUBLE JACK STUDS AT OPENINGS WIDER THAN 36". PROVIDE DOUBLE KING STUDS AT OPENINGS WIDER THAN 48".
- ALL BEAMS AND STRUCTURAL HEADERS TO HAVE 3" MINIMUM BEARING.
- ALL WOOD WALL FRAMING, FLOOR JOISTS, CEILING JOISTS, AND ROOF RAFTERS TO BE D.F. #2 OR BETTER WITH MINIMUM FB=1200 PSI.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
- INSTALL CONTINUOUS TERMITE SHIELD AND SILL SEALER AROUND PERIMETER OF FOUNDATION.
- FOUNDATION ANCHOR BOLTS FOR SILL PLATE TO BE 1/2" DIA., 12" LONG HOOKED, AT 36" O.C., MIN. 12" FROM CORNERS, WITH 3" DIA. x 1/4" SS WASHER.

CONSTRUCTION KEY NOTES



SCALE: 1/4" = 1'-0"
DATE: MAR. 18, 2020

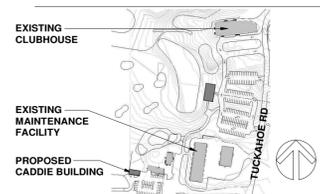
PROPOSED FLOOR PLAN

PROJECT No. SHI07.00
SHEET No. **A1.01**

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(631) 728-9480



LOCATION PLAN

CADDIE BUILDING

SHINNECOCK HILLS
GOLF CLUB
200 TUCKAHOE ROAD
SOUTHAMPTON, NY 11968

ISSUE & REVISIONS

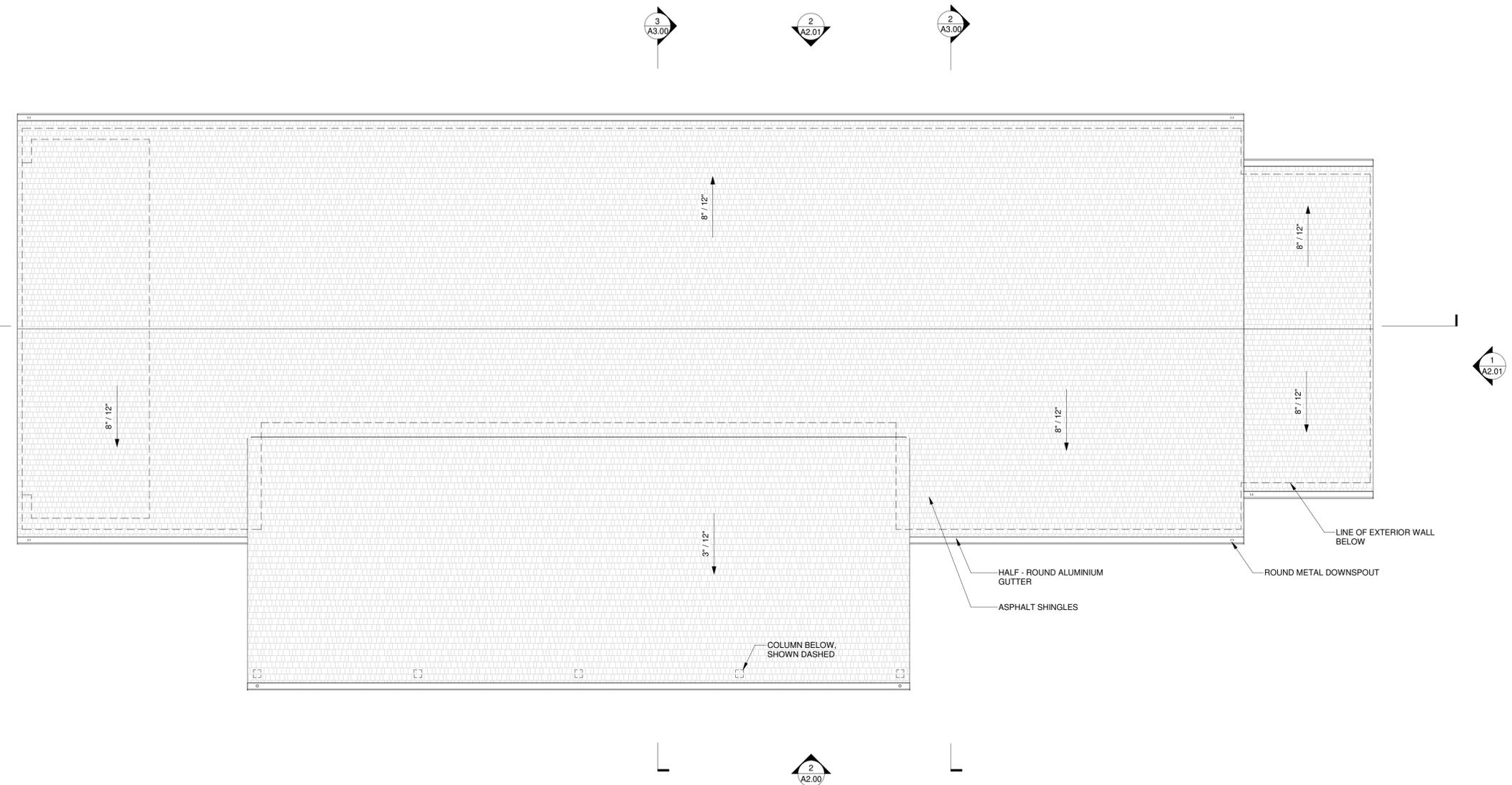
No.	DATE	DESCRIPTION
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2	03/18/2020	ISSUE FOR PLANNING BOARD



SCALE 1/4" = 1'-0"	DATE MAR. 18, 2020
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SHEET TITLE
PROPOSED ROOF PLAN

PROJECT No. SHI07.00	SHEET No. A1.02
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1 PROPOSED ROOF PLAN
1/4" = 1'-0"

LEGEND

	INTERIOR ELEVATION TAG		NEW CONSTRUCTION
	ENLARGED DETAIL TAG		EXISTING TO REMAIN
	SECTION TAG, i.e. SEE DETAIL 1 ON DRAWING A101	ROOM NAME	ROOM NAME & NUMBER
	EXTERIOR ELEVATION TAG		101
	NEW OR RELOCATED DOOR		GRID LINE
	EXISTING DOOR TO REMAIN. PROVIDE HARDWARE IF SCHEDULED		DOOR TAG, SEE DOOR SCHEDULE
	REINF. CONC. FOUNDATION WALL		WINDOW TAG, SEE WINDOW SCHEDULE
	REINF. CONC. FOOTING		KEY NOTE
	CORE MATERIAL ASSEMBLY		CORE WIDTH
	WALL HEIGHT		FIRE RATING
	PARTITION TAG, SEE PARTITION SCHEDULE		

ROOF CONSTRUCTION NOTES

1. ROOF MATERIAL - PROVIDE CERTAINTED LANDMARK TL ASPHALT ROOF SHINGLES. INCLUDE HIP AND RIDGE SHINGLES AND ACCESSORIES. INCLUDE UNDERLAYMENT. PROVIDE RIDGE VENTILATION PRODUCT. ADHERE TO MANUFACTURER GUIDELINES.
2. PROVIDE FULL COVERAGE ICE AND WATER SHIELD OVER ALL ROOF SHEATHING. TURN ICE AND WATER SHIELD UP WALL 12" MIN.
3. METAL FLASHING - PROVIDE 24 OZ. x 18" WIDE METAL FLASHING. INSTALL METAL STEP FLASHING AT ROOF-TO-WALL INTERSECTIONS. PROVIDE CONTINUOUS METAL DRIP EDGE AT PERIMETER OF ENTIRE ROOF.
4. ALL ROOF FASTENERS TO BE STAINLESS STEEL.
5. GUTTERS AND DOWNSPOUTS - PROVIDE 5" HALF-ROUND METAL GUTTERS W/ SPHERICAL END CAPS, METAL GUTTER HANGERS, AND 3" DIA. ROUND METAL DOWNSPOUTS W/ METAL BOOTS. CONNECT ALL DOWNSPOUTS TO SUBSURFACE SYSTEM. SEE CIVIL DRAWINGS.
6. PLUMBING VENTS SHALL MINIMUM REQUIRED AND SHALL BE LOCATED ON BACK OF ROOF AND SHALL BE PAINTED.

CONSTRUCTION KEY NOTES

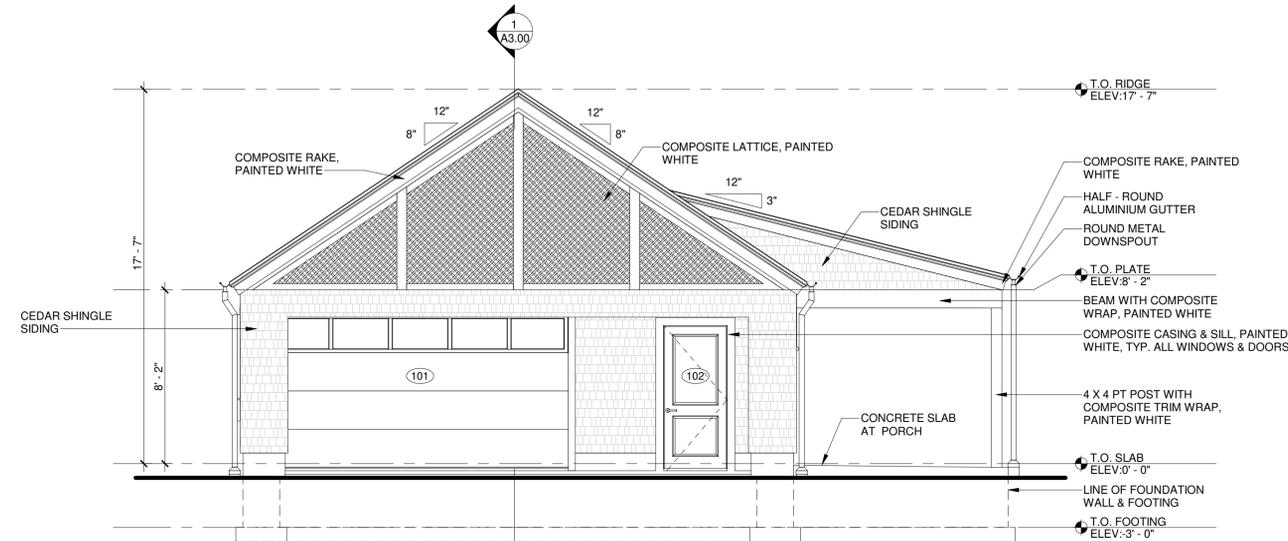
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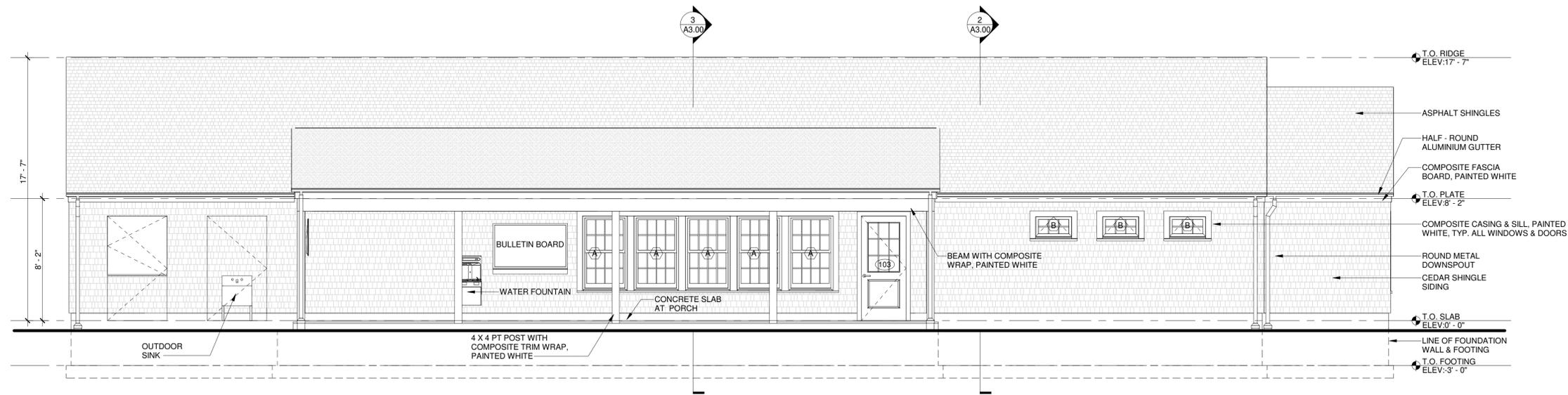
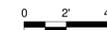
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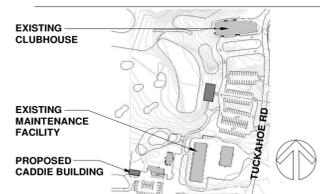
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1 PROPOSED WEST ELEVATION
1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"



LOCATION PLAN

CADDIE BUILDING

SHINNECOCK HILLS
GOLF CLUB
200 TUCKAHOE ROAD
SOUTHAMPTON, NY 11968

ISSUE & REVISIONS

No.	DATE	DESCRIPTION
1	10/10/2019	ISSUE FOR SCHEMATIC PRICING
2	03/18/2020	ISSUE FOR PLANNING BOARD

LEGEND

BUILDING ELEVATION NOTES

- SIDEWALL - PROVIDE 24" #1 BLUE LABEL R&R CEDAR SHINGLES WITH STAINLESS STEEL RING SHANK NAILS. ADHERE TO CEDAR SHAKE AND SHINGLE BUREAU GUIDELINES. PROVIDE VENTILATED WATERPROOF UNDERLAYMENT BEHIND SHINGLES. 6" EXPOSURE. COURSE WITH EXTERIOR TRIM. VERIFY LAYOUT WITH ARCHITECT IN FIELD PRIOR TO INSTALLATION. SHINGLES TO BE 1/2" MIN. FROM FINISHED HORIZONTAL SURFACES AND 6" MIN. FROM FINISHED GRADE. DOUBLE STARTER COURSE TO OVERLAP SUBSTRATE 1" MINIMUM. WOVEN CORNERS.
- GUTTERS AND DOWNSPOUTS - INSTALL AT LOCATIONS SHOWN. SEE ROOF PLAN FOR ADDITIONAL DETAILS.
- INSTALL 5/4 THICK CLEAR CEDAR BLOCK WITH COPPER CAP FLASHING BEHIND ALL EXTERIOR LIGHT FIXTURES. VERIFY BLOCK WIDTH AND HEIGHT WITH BACKPLATE OF LIGHT FIXTURE.
- SEE DETAILS FOR THE INSTALLATION OF COPPER FLASHING, FLASHING MEMBRANE, AND WEATHER BARRIER.
- EXTERIOR TRIM - PROVIDE COMPOSITE TRIM FOR ALL EXTERIOR TRIM UNLESS OTHERWISE NOTED. CASING = 5/4x4 MULL CASING = 5/4x. FACIA = 5/4x. PROVIDE APPLIED HISTORIC SILL AT ALL OPENINGS. PROVIDE COPPER CAP FLASHING AT ALL HEAD CASINGS.
- SEE ENLARGED DETAILS FOR EXTERIOR PROFILES AT EAVES AND RAKES.

BUILDING ELEVATIONS KEY NOTES



SCALE: 1/4" = 1'-0"
DATE: MAR. 18, 2020

SHEET TITLE
PROPOSED EXTERIOR
ELEVATIONS

PROJECT No. SHI07.00
SHEET No. A2.00

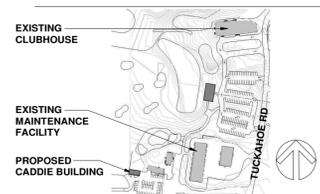
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LOCATION PLAN

CADDIE BUILDING

SHINNECOCK HILLS
GOLF CLUB
200 TUCKAHOE ROAD
SOUTHAMPTON, NY 11968

ISSUE & REVISIONS

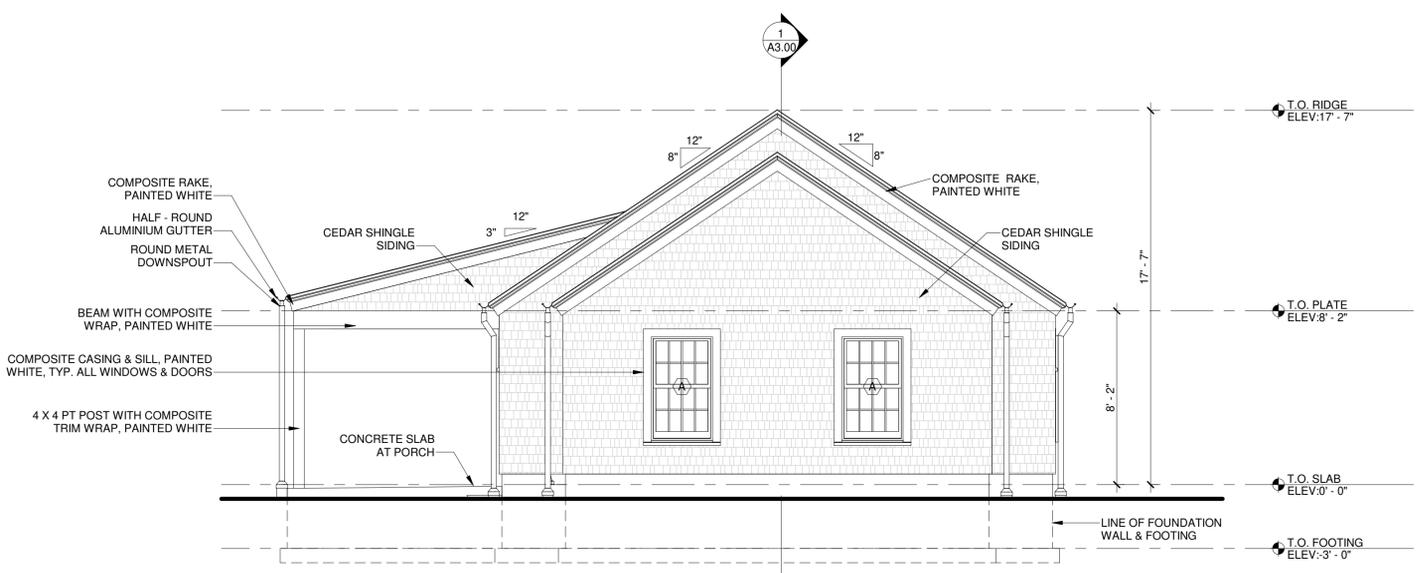
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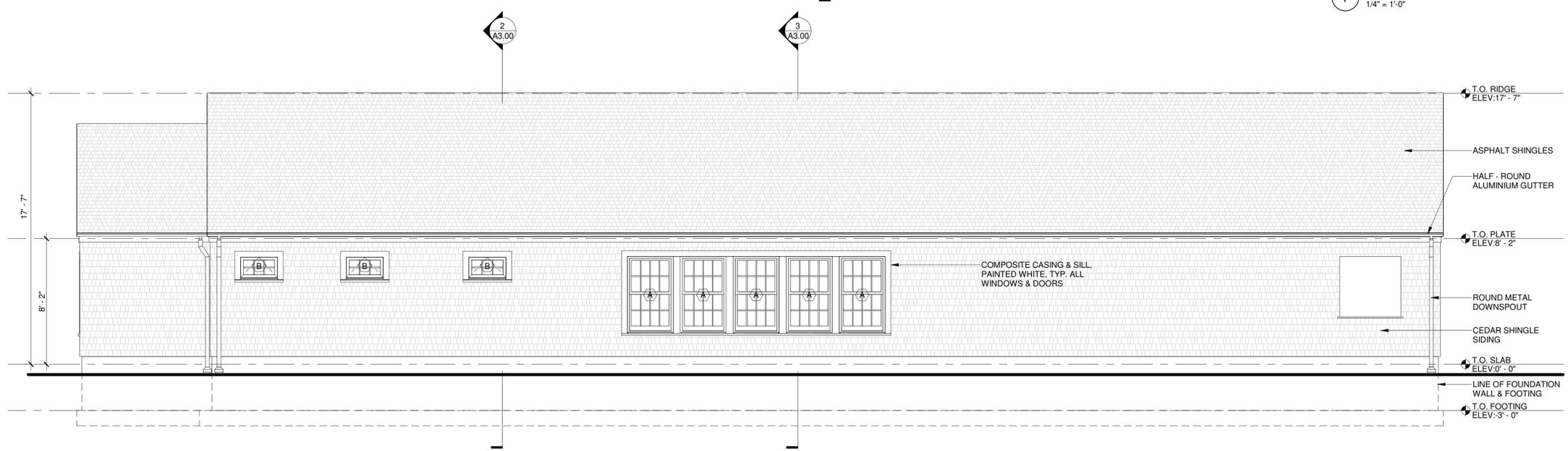
SCALE: 1/4" = 1'-0" DATE: MAR. 18, 2020

SHEET TITLE
PROPOSED EXTERIOR ELEVATIONS

PROJECT No. SH107.00 SHEET No. **A2.01**



1 PROPOSED EAST ELEVATION
1/4" = 1'-0" 0 2' 4"



2 PROPOSED NORTH ELEVATION
1/4" = 1'-0" 0 2' 4"

LEGEND

BUILDING ELEVATION NOTES

BUILDING ELEVATIONS KEY NOTES

- SIDEWALL - PROVIDE 24" #1 BLUE LABEL R&R CEDAR SHINGLES WITH STAINLESS STEEL RING SHANK NAILS. ADHERE TO CEDAR SHAKE AND SHINGLE BUREAU GUIDELINES. PROVIDE VENTILATED WATERPROOF UNDERLAYMENT BEHIND SHINGLES. 6" EXPOSURE. COURSE WITH EXTERIOR TRIM. VERIFY LAYOUT WITH ARCHITECT IN FIELD PRIOR TO INSTALLATION. SHINGLES TO BE 1/2" MIN. FROM FINISHED HORIZONTAL SURFACES AND 6" MIN. FROM FINISHED GRADE. DOUBLE STARTER COURSE TO OVERLAP SUBSTRATE 1" MINIMUM. WOVEN CORNERS.
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- SEE ENLARGED DETAILS FOR EXTERIOR PROFILES AT EAVES AND RAKES.

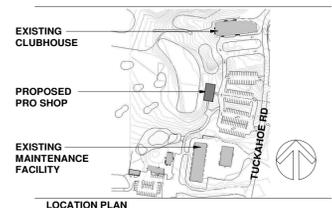
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PRO SHOP

SHINNECOCK HILLS
GOLF CLUB
200 TUCKAHOE RD,
SOUTHAMPTON, NY 11968

ISSUE & REVISIONS

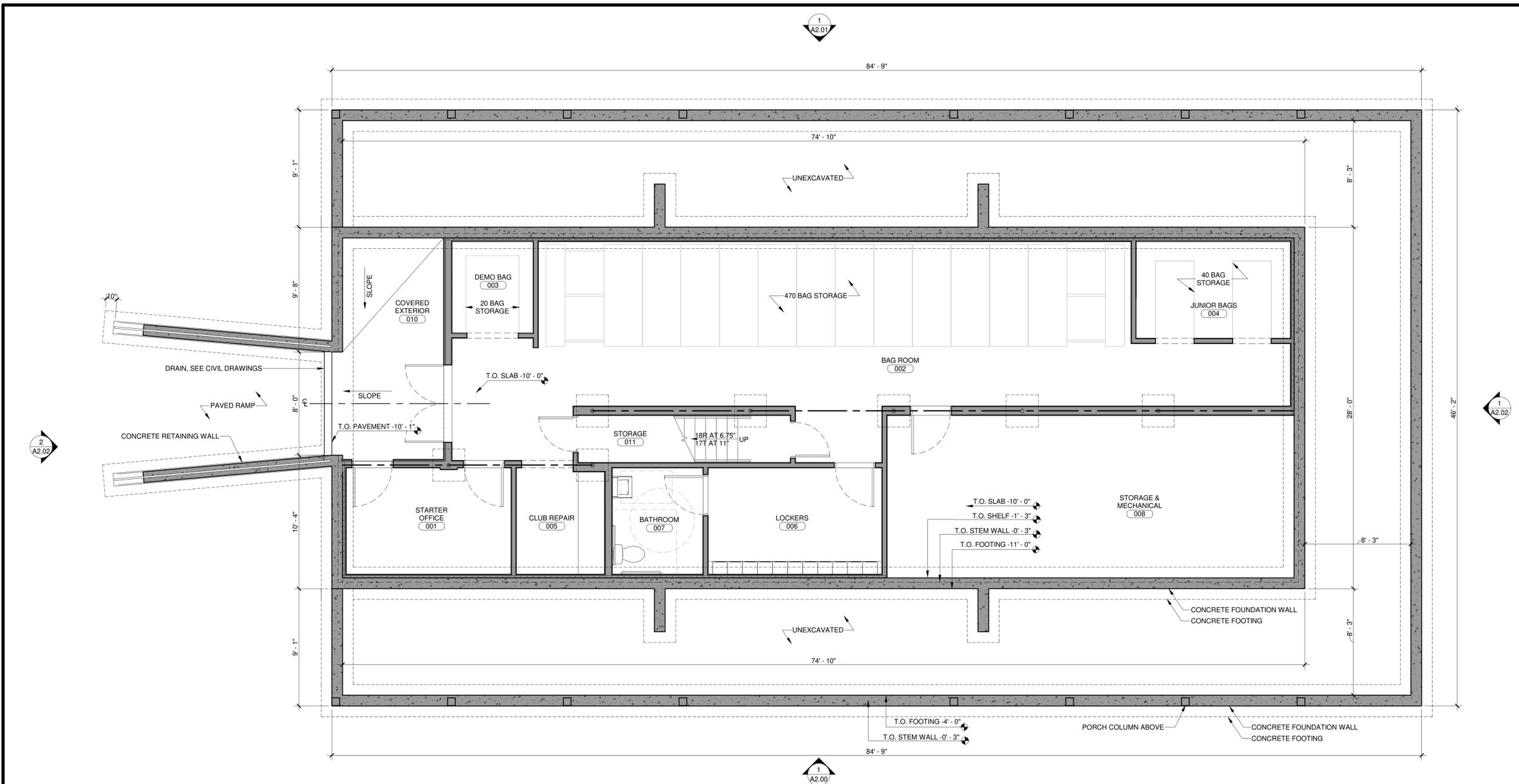
No.	DATE	DESCRIPTION
1	09/16/2019	SITE PLANNING SUBMISSION
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SCALE: 1/4" = 1'-0"
DATE: MAR. 18, 2020

SHEET TITLE
PROPOSED BASEMENT PLAN

PROJECT No. SHI07.00
SHEET No. **A1.00**



1 PROPOSED BASEMENT PLAN
1/4" = 1'-0"



LEGEND

	INTERIOR ELEVATION TAG		NEW CONSTRUCTION
	ENLARGED DETAIL TAG		EXISTING TO REMAIN
	SECTION TAG, i.e. SEE DETAIL 1 ON DRAWING A101	ROOM NAME	ROOM NAME & NUMBER
	EXTERIOR ELEVATION TAG		GRID LINE
	NEW OR RELOCATED DOOR		DOOR TAG, SEE DOOR SCHEDULE
	EXISTING DOOR TO REMAIN, PROVIDE HARDWARE IF SCHEDULED		WINDOW TAG, SEE WINDOW SCHEDULE
	REINF. CONC. FOUNDATION WALL		KEY NOTE
	REINF. CONC. FOOTING		PARTITION TAG, SEE PARTITION SCHEDULE

FOUNDATION AND FRAMING NOTES

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- INSTALL JOIST HANGERS ON ALL FLUSH CONNECTIONS.
- PACK OUT HEADERS TO DEPTH OF WALL CAVITY WITH RIGID INSULATION.
- PROVIDE DOUBLE JACK STUDS AT OPENINGS WIDER THAN 36". PROVIDE DOUBLE KING STUDS AT OPENINGS WIDER THAN 48".
- ALL BEAMS AND STRUCTURAL HEADERS TO HAVE 3" MINIMUM BEARING.
- ALL WOOD WALL FRAMING, FLOOR JOISTS, CEILING JOISTS, AND ROOF RAFTERS TO BE D.F. #2 OR BETTER WITH MINIMUM FB=1200 PSI.
- ALL WOOD IN CONTACT WITH CONCRETE OR SOIL SHALL BE PRESSURE TREATED.
- INSTALL CONTINUOUS TERMITE SHIELD AND SILL SEALER AROUND PERIMETER OF FOUNDATION WALL.
- FOUNDATION ANCHOR BOLTS FOR SILL PLATE TO BE 1/2" DIA., 12" LONG HOOKED, AT 36" O.C., MIN. 12" FROM CORNERS, WITH 3" DIA. x 1/4" SS WASHER.

CONSTRUCTION KEY NOTES

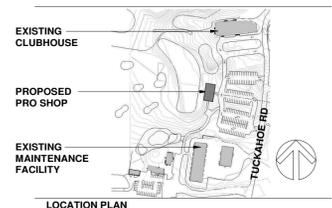
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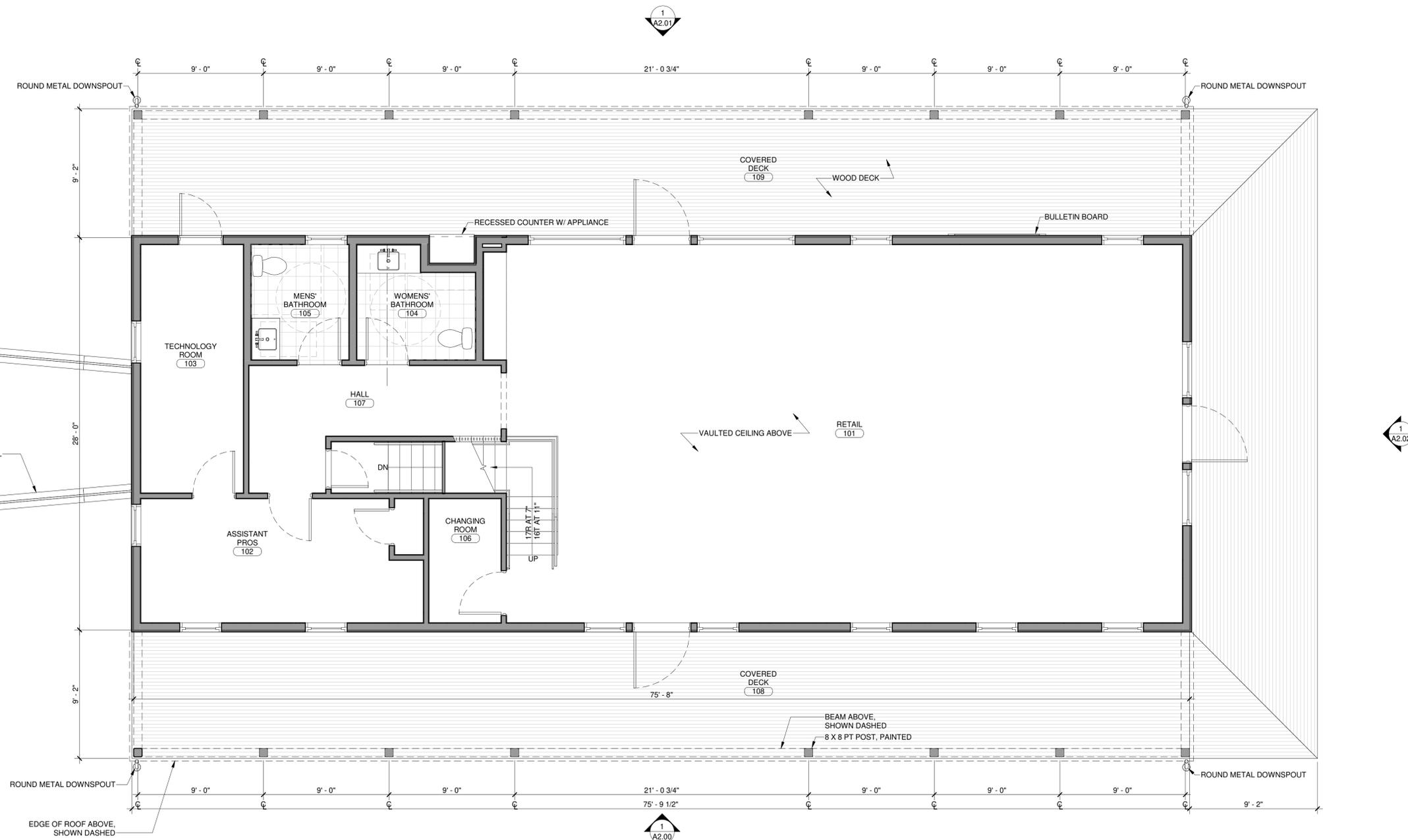
ISSUE & REVISIONS

No.	DATE	DESCRIPTION
1	09/16/2019	SITE PLANNING SUBMISSION
2	03/18/2020	ISSUE FOR PLANNING BOARD

SCALE 1/4" = 1'-0" DATE MAR. 18, 2020

SHEET TITLE
PROPOSED GROUND FLOOR PLAN

PROJECT No. SHI07.00 SHEET No. A1.01



1 PROPOSED GROUND FLOOR PLAN
1/4" = 1'-0"



LEGEND

	INTERIOR ELEVATION TAG		NEW CONSTRUCTION
	ENLARGED DETAIL TAG		EXISTING TO REMAIN
	SECTION TAG, i.e. SEE DETAIL 1 ON DRAWING A101	ROOM NAME	ROOM NAME & NUMBER
	EXTERIOR ELEVATION TAG		GRID LINE
	NEW OR RELOCATED DOOR		DOOR TAG, SEE DOOR SCHEDULE
	EXISTING DOOR TO REMAIN, PROVIDE HARDWARE IF SCHEDULED		WINDOW TAG, SEE WINDOW SCHEDULE
	REINF. CONC. FOUNDATION WALL		KEY NOTE
	REINF. CONC. FOOTING		CORE MATERIAL ASSEMBLY
			PARTITION TAG, SEE PARTITION SCHEDULE
			WALL HEIGHT
			FIRE RATING

FOUNDATION AND FRAMING NOTES

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- INSTALL JOIST HANGERS ON ALL FLUSH CONNECTIONS.
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CONSTRUCTION KEY NOTES

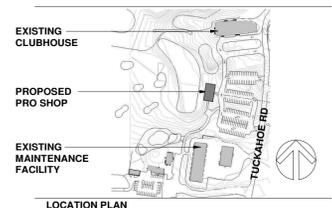
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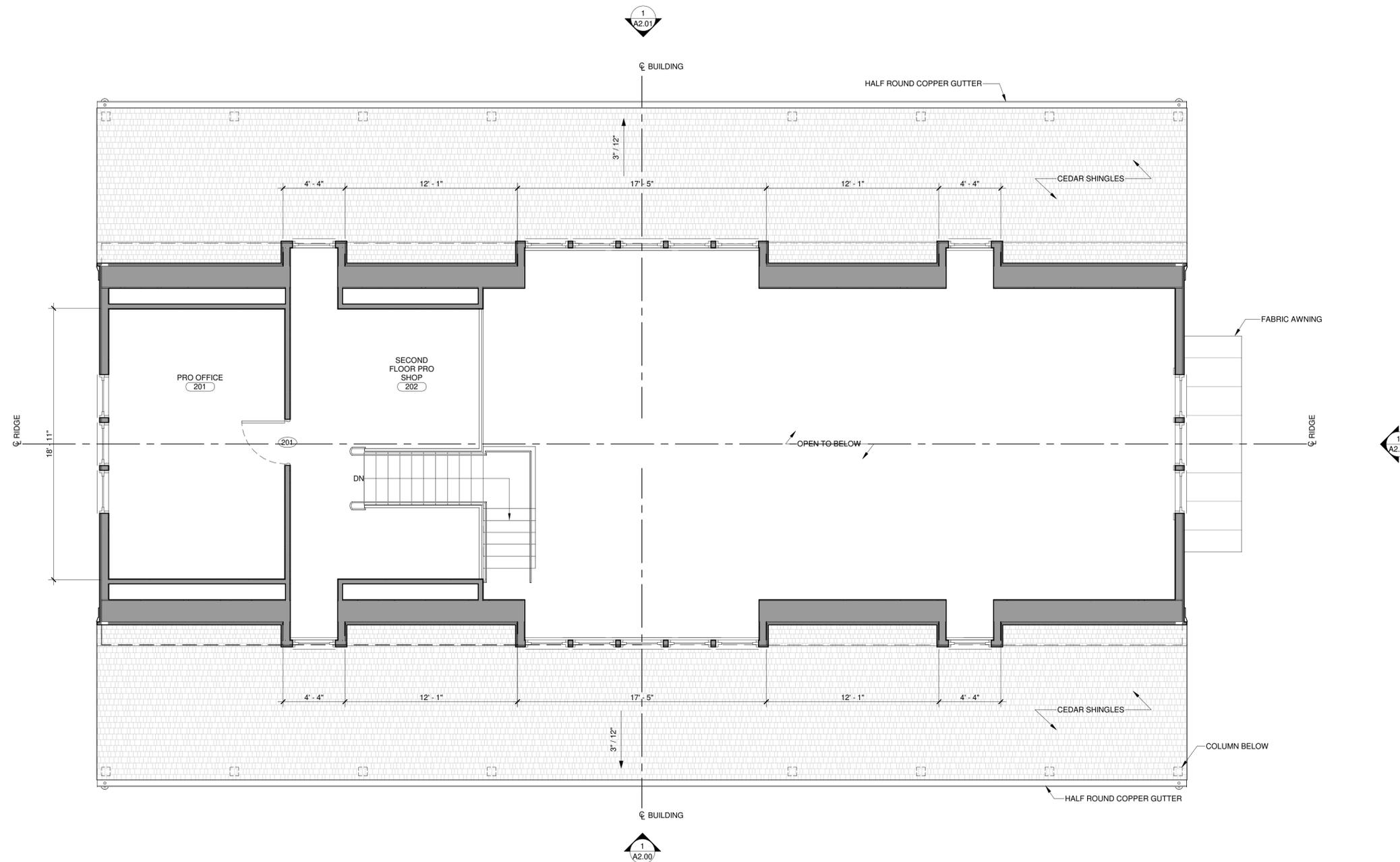
ISSUE & REVISIONS

No.	DATE	DESCRIPTION
1	09/16/2019	SITE PLANNING SUBMISSION
2	03/18/2020	ISSUE FOR PLANNING BOARD

SCALE 1/4" = 1'-0" DATE MAR. 18, 2020

SHEET TITLE
PROPOSED SECOND FLOOR PLAN

PROJECT No. SHI07.00 SHEET No. **A1.02**



1 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"



LEGEND

	INTERIOR ELEVATION TAG		NEW CONSTRUCTION
	ENLARGED DETAIL TAG		EXISTING TO REMAIN
	SECTION TAG, i.e. SEE DETAIL 1 ON DRAWING A101	ROOM NAME	ROOM NAME & NUMBER
	EXTERIOR ELEVATION TAG		GRID LINE
	NEW OR RELOCATED DOOR		DOOR TAG, SEE DOOR SCHEDULE
	EXISTING DOOR TO REMAIN, PROVIDE HARDWARE IF SCHEDULED		WINDOW TAG, SEE WINDOW SCHEDULE
	REINF. CONC. FOUNDATION WALL		KEY NOTE
	REINF. CONC. FOOTING		MATERIAL ASSEMBLY
			PARTITION TAG, SEE PARTITION SCHEDULE
			WALL HEIGHT
			FIRE RATING

FOUNDATION AND FRAMING NOTES

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- ALL BEAMS AND STRUCTURAL HEADERS TO HAVE 3" MINIMUM BEARING.
- ALL WOOD WALL FRAMING, FLOOR JOISTS, CEILING JOISTS, AND ROOF RAFTERS TO BE D.F. #2 OR BETTER WITH MINIMUM FB=1200 PSI.
- ALL WOOD IN CONTACT WITH CONCRETE OR SOIL SHALL BE PRESSURE TREATED.
- INSTALL CONTINUOUS TERMITE SHIELD AND SILL SEALER AROUND PERIMETER OF FOUNDATION WALL.
- FOUNDATION ANCHOR BOLTS FOR SILL PLATE TO BE 1/2" DIA., 12" LONG HOOKED, AT 36" O.C., MIN. 12" FROM CORNERS, WITH 3" DIA. x 1/4" SS WASHER.

CONSTRUCTION KEY NOTES

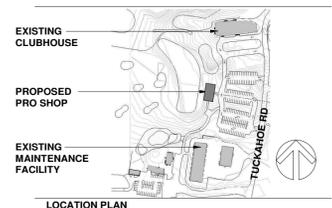
ROGERS
McCAGG

ARCHITECTS | PLANNERS
INTERIOR DESIGNERS
44 North Main Street, South Norwalk, CT 06854
T 203 354 5200 F 203 354 5201
www.rm-arch.com

CIVIL ENGINEER
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860 MONTAUK HWY
WATER MILL, NY 11976
(631) 726-7600

MECHANICAL ENGINEER
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(914) 967-9505

STRUCTURAL ENGINEER
S.L. MARESCA & ASSOCIATES
188-04 W. MONTAUK HIGHWAY
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(631) 728-9480



PRO SHOP

SHINNECOCK HILLS
GOLF CLUB
200 TUCKAHOE RD,
SOUTHAMPTON, NY 11968

ISSUE & REVISIONS

No.	DATE	DESCRIPTION
1	09/16/2019	SITE PLANNING SUBMISSION
2	03/18/2020	ISSUE FOR PLANNING BOARD

SCALE: 1/4" = 1'-0" DATE: MAR. 18, 2020

SHEET TITLE: PROPOSED ROOF PLAN

PROJECT No. SHI07.00 SHEET No. A1.03



1 PROPOSED ROOF PLAN
1/4" = 1'-0" 0 2 4

LEGEND

	INTERIOR ELEVATION TAG		NEW CONSTRUCTION
	ENLARGED DETAIL TAG		EXISTING TO REMAIN
	SECTION TAG, i.e. SEE DETAIL 1 ON DRAWING A101	ROOM NAME	ROOM NAME & NUMBER
	EXTERIOR ELEVATION TAG	101	DOOR TAG, SEE DOOR SCHEDULE
	NEW OR RELOCATED DOOR	(X)	WINDOW TAG, SEE WINDOW SCHEDULE
	EXISTING DOOR TO REMAIN, PROVIDE HARDWARE IF SCHEDULED	A1.001	KEY NOTE
	REINFC. CONC. FOUNDATION WALL		CORE MATERIAL MATERIAL ASSEMBLY
	REINFC. CONC. FOOTING		CORE WIDTH
			WALL HEIGHT
			FIRE RATING
			PARTITION TAG, SEE PARTITION SCHEDULE

ROOF CONSTRUCTION NOTES

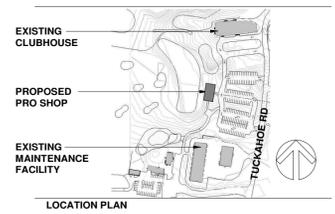
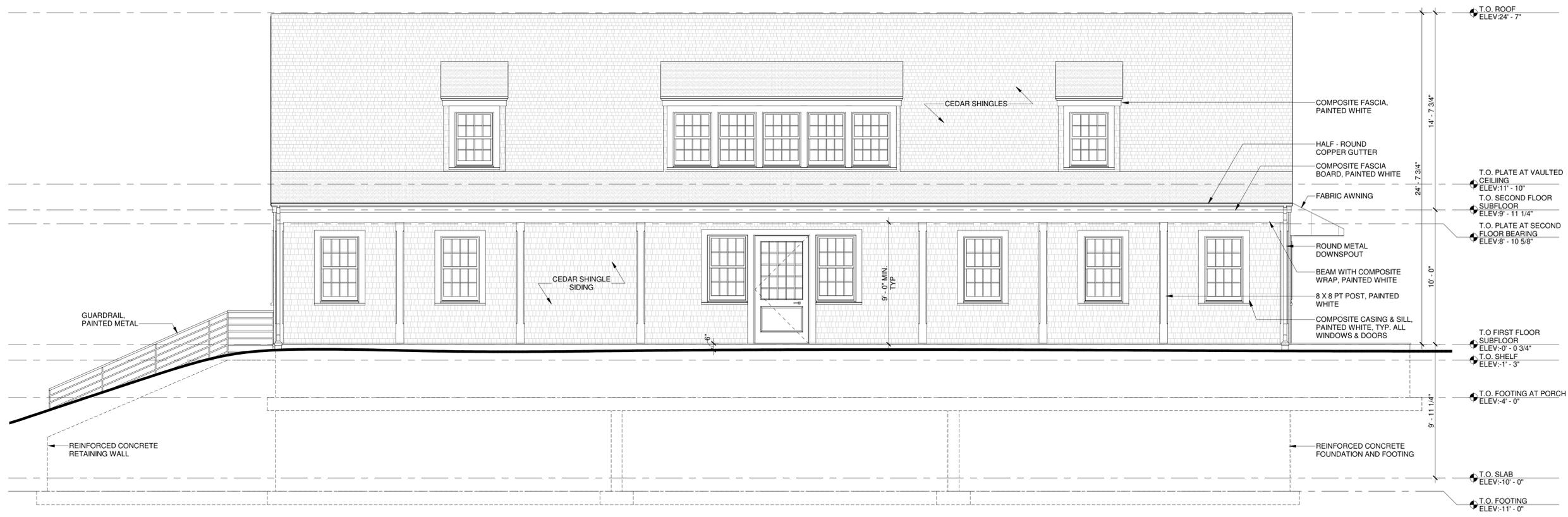
1. ROOF MATERIAL - PROVIDE WESTERN RED CEDAR NO.1 BLUE LABEL 18" PERFECTION ROOF SHINGLES. INCLUDE HIP AND RIDGE SHINGLES AND ACCESSORIES. INCLUDE UNDERLAYMENT OVER ROOF SHEATHING. INCLUDE VENTILATION PRODUCT BEHIND CEDAR SHINGLES. USE STAINLESS STEEL FASTENERS. ADHERE TO MANUFACTURER GUIDELINES.
2. PROVIDE FULL COVERAGE ICE AND WATER SHIELD OVER ALL ROOF SHEATHING. TURN ICE AND WATER SHIELD UP WALL 12" MIN.
3. METAL FLASHING - PROVIDE 24 OZ. x 18" WIDE METAL FLASHING. INSTALL METAL STEP FLASHING AT ROOF-TO-WALL INTERSECTIONS. PROVIDE CONTINUOUS METAL DRIIP EDGE AT PERIMETER OF ENTIRE ROOF.
4. ALL ROOF FASTENERS TO BE STAINLESS STEEL.
5. GUTTERS AND DOWNSPOUTS - PROVIDE 5" HALF-ROUND METAL GUTTERS W/ SPHERICAL END CAPS, METAL GUTTER HANGERS, AND 3" DIA. ROUND METAL DOWNSPOUTS W/ METAL BOOTS. CONNECT ALL DOWNSPOUTS TO SUBSURFACE SYSTEM. SEE CIVIL DRAWINGS.
6. PLUMBING VENTS SHALL BE MINIMUM NUMBER REQUIRED AND SHALL BE COPPER WITH INTEGRAL FLASHING.

CONSTRUCTION KEY NOTES

CIVIL ENGINEER
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SCALE: 1/4" = 1'-0" DATE: MAR. 18, 2020

SHEET TITLE: PROPOSED EXTERIOR ELEVATION

PROJECT No. SHI07.00 SHEET No. A2.00

1 PROPOSED EAST ELEVATION
1/4" = 1'-0" 0 2 4

LEGEND

BUILDING ELEVATION NOTES

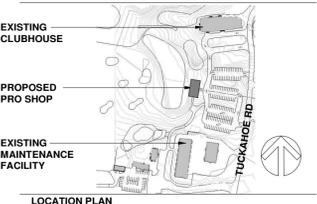
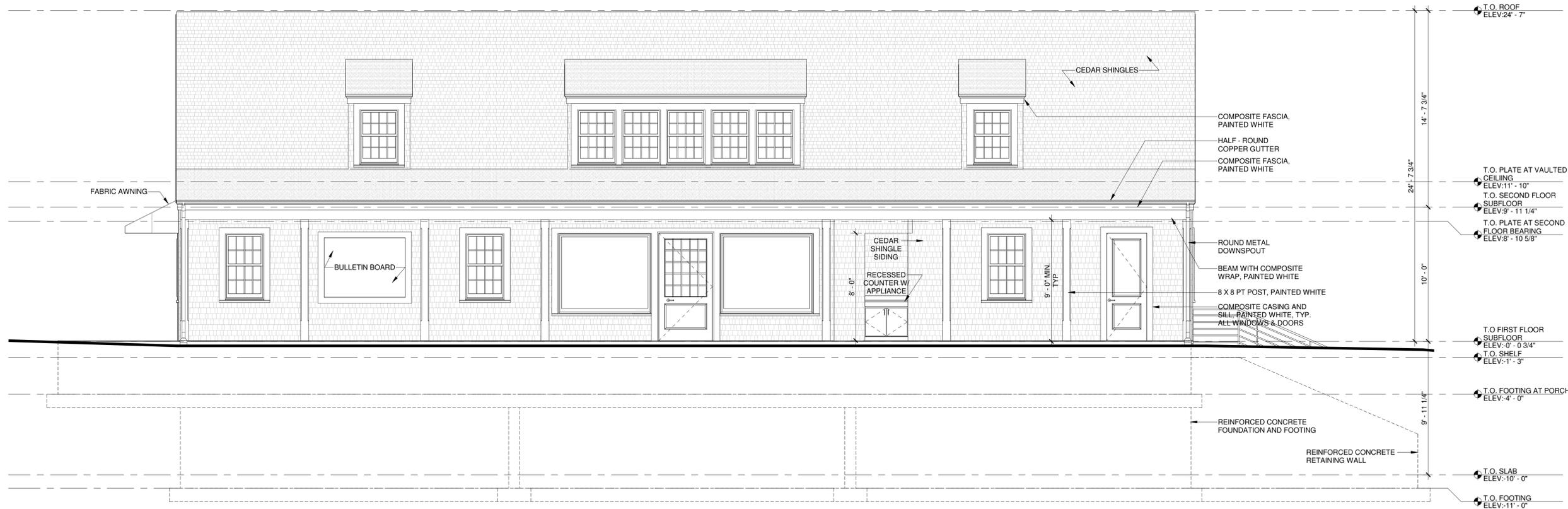
BUILDING ELEVATIONS KEY NOTES

- SIDEWALL - PROVIDE 24" #1 BLUE LABEL R&R CEDAR SHINGLES WITH STAINLESS STEEL RING SHANK NAILS. ADHERE TO CEDAR SHAKE AND SHINGLE BUREAU GUIDELINES. PROVIDE VENTILATED WATERPROOF UNDERLAYMENT BEHIND SHINGLES. 6" EXPOSURE. COURSE WITH EXTERIOR TRIM. VERIFY LAYOUT WITH ARCHITECT IN FIELD PRIOR TO INSTALLATION. SHINGLES TO BE 1/2" MIN. FROM FINISHED HORIZONTAL SURFACES AND 6" MIN. FROM FINISHED GRADE. DOUBLE STARTER COURSE TO OVERLAP SUBSTRATE 1" MINIMUM. WOVEN CORNERS.
- GUTTERS AND DOWNSPOUTS - INSTALL AT LOCATIONS SHOWN. SEE ROOF PLAN FOR ADDITIONAL DETAILS.
- INSTALL 5/4 THICK CLEAR CEDAR BLOCK WITH COPPER CAP FLASHING BEHIND ALL EXTERIOR LIGHT FIXTURES. VERIFY BLOCK WIDTH AND HEIGHT WITH BACKPLATE OF LIGHT FIXTURE.
- SEE DETAILS FOR THE INSTALLATION OF COPPER FLASHING, FLASHING MEMBRANE, AND WEATHER BARRIER.
- EXTERIOR TRIM - PROVIDE COMPOSITE TRIM FOR ALL EXTERIOR TRIM UNLESS OTHERWISE NOTED. CASING = 5/4x4 MULL CASING = 5/4x. FACIA = 5/4x. PROVIDE APPLIED HISTORIC SILL AT ALL OPENINGS. PROVIDE COPPER CAP FLASHING AT ALL HEAD CASINGS.
- SEE ENLARGED DETAILS FOR EXTERIOR PROFILES AT EAVES AND RAKES.

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SOUTHAMPTON, NY 11968

1 PROPOSED WEST ELEVATION
1/4" = 1'-0" 0 2 4

LEGEND	BUILDING ELEVATION NOTES	BUILDING ELEVATIONS KEY NOTES
	<ol style="list-style-type: none"> SIDEWALL - PROVIDE 24" #1 BLUE LABEL R&R CEDAR SHINGLES WITH STAINLESS STEEL RING SHANK NAILS. ADHERE TO CEDAR SHAKE AND SHINGLE BUREAU GUIDELINES. PROVIDE VENTILATED WATERPROOF UNDERLAYMENT BEHIND SHINGLES. 6" EXPOSURE. COURSE WITH EXTERIOR TRIM. VERIFY LAYOUT WITH ARCHITECT IN FIELD PRIOR TO INSTALLATION. SHINGLES TO BE 1/2" MIN. FROM FINISHED HORIZONTAL SURFACES AND 6" MIN. FROM FINISHED GRADE. DOUBLE STARTER COURSE TO OVERLAP SUBSTRATE 1" MINIMUM. WOVEN CORNERS. GUTTERS AND DOWNSPOUTS - INSTALL AT LOCATIONS SHOWN. SEE ROOF PLAN FOR ADDITIONAL DETAILS. INSTALL 5/4 THICK CLEAR CEDAR BLOCK WITH COPPER CAP FLASHING BEHIND ALL EXTERIOR LIGHT FIXTURES. VERIFY BLOCK WIDTH AND HEIGHT WITH BACKPLATE OF LIGHT FIXTURE. SEE DETAILS FOR THE INSTALLATION OF COPPER FLASHING, FLASHING MEMBRANE, AND WEATHER BARRIER. EXTERIOR TRIM - PROVIDE COMPOSITE TRIM FOR ALL EXTERIOR TRIM UNLESS OTHERWISE NOTED. CASING = 5/4x4 MULL CASING = 5/4x. FACIA = 5/4x. PROVIDE APPLIED HISTORIC SILL AT ALL OPENINGS. PROVIDE COPPER CAP FLASHING AT ALL HEAD CASINGS. SEE ENLARGED DETAILS FOR EXTERIOR PROFILES AT EAVES AND RAKES. 	

ISSUE & REVISIONS

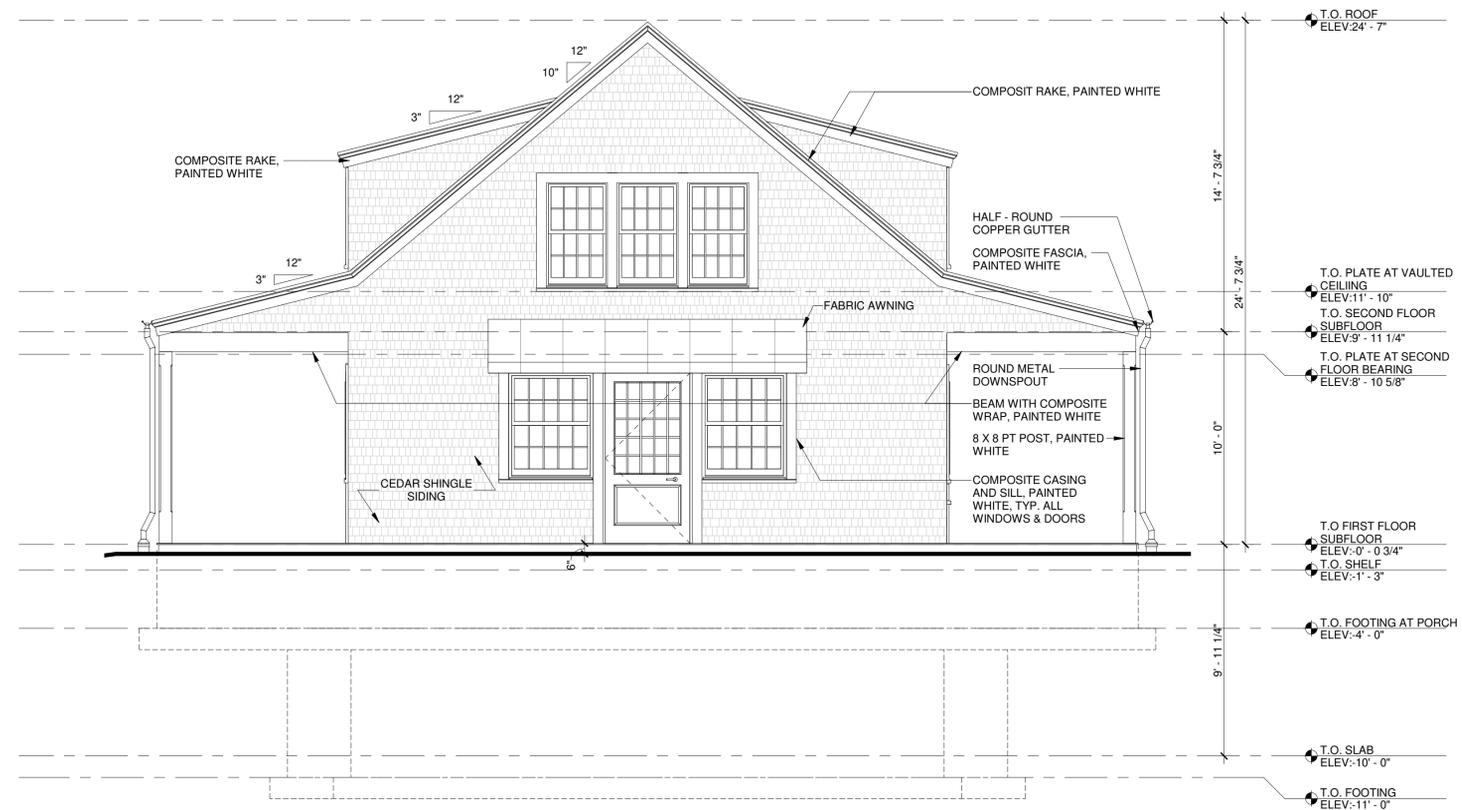
No.	DATE	DESCRIPTION
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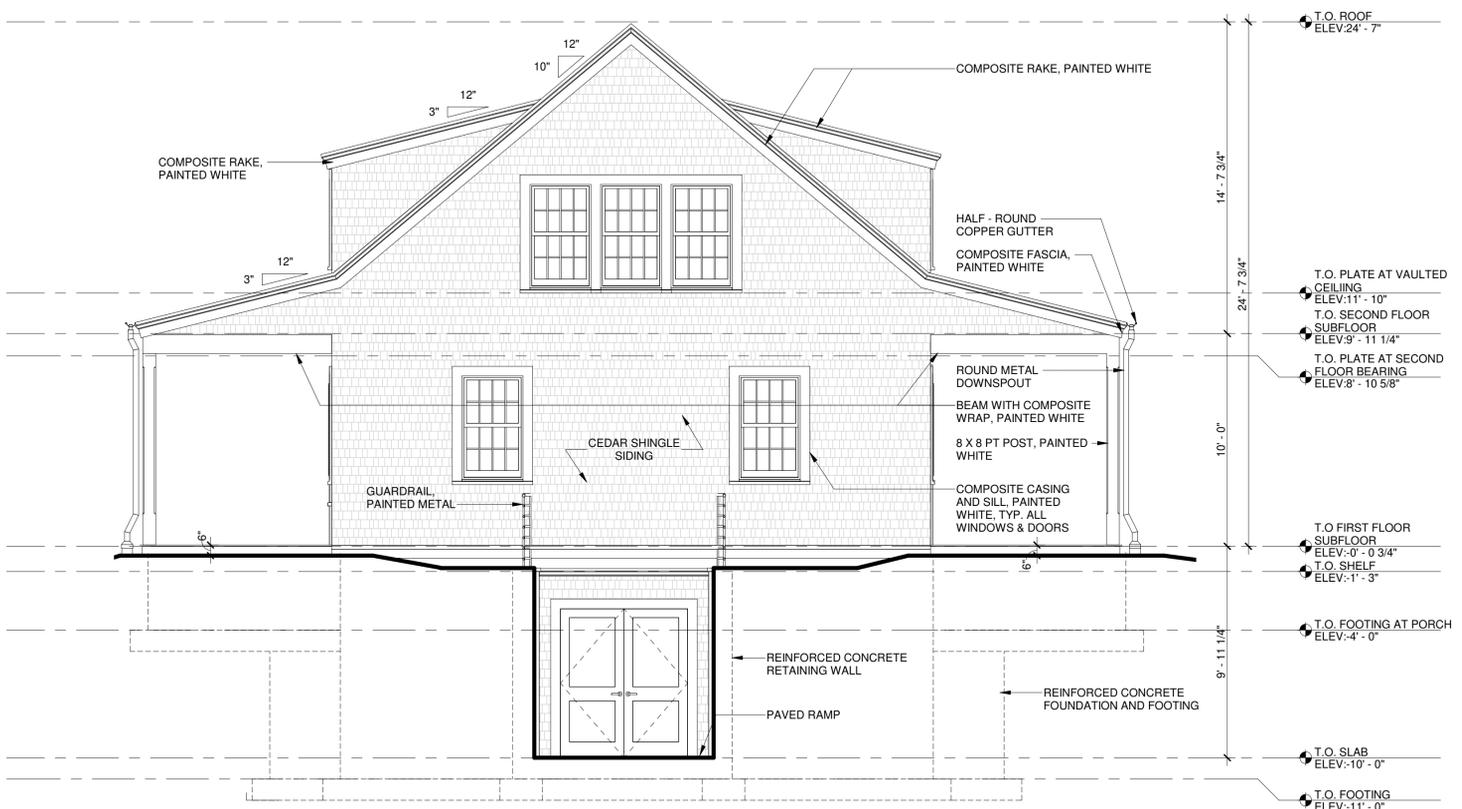
SCALE: 1/4" = 1'-0" DATE: MAR. 18, 2020

SHEET TITLE: PROPOSED EXTERIOR ELEVATION

PROJECT No. SHI07.00 SHEET No. A2.01



1 PROPOSED NORTH ELEVATION
1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

LEGEND

BUILDING ELEVATION NOTES

1. SIDEWALL - PROVIDE 24" #1 BLUE LABEL R&R CEDAR SHINGLES WITH STAINLESS STEEL RING SHANK NAILS. ADHERE TO CEDAR SHAKE AND SHINGLE BUREAU GUIDELINES. PROVIDE VENTILATED WATERPROOF UNDERLAYMENT BEHIND SHINGLES. 6" EXPOSURE. COURSE WITH EXTERIOR TRIM. VERIFY LAYOUT WITH ARCHITECT IN FIELD PRIOR TO INSTALLATION. SHINGLES TO BE 1/2" MIN. FROM FINISHED HORIZONTAL SURFACES AND 6" MIN. FROM FINISHED GRADE. DOUBLE STARTER COURSE TO OVERLAP SUBSTRATE 1" MINIMUM.
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3. INSTALL 5/4 THICK CLEAR CEDAR BLOCK WITH COPPER CAP FLASHING BEHIND ALL EXTERIOR LIGHT FIXTURES. VERIFY BLOCK WIDTH AND HEIGHT WITH BACKPLATE OF LIGHT FIXTURE.
4. SEE DETAILS FOR THE INSTALLATION OF COPPER FLASHING, FLASHING MEMBRANE, AND WEATHER BARRIER.
5. EXTERIOR TRIM - PROVIDE COMPOSITE TRIM FOR ALL EXTERIOR TRIM UNLESS OTHERWISE NOTED. CASING = 5/4x4. MULL CASING = 5/4x. CORNER BOARDS = 5/4x4. FACIA = 5/4x. PROVIDE APPLIED HISTORIC SILL AT ALL OPENINGS. PROVIDE COPPER CAP FLASHING AT ALL HEAD CASINGS.
6. SEE ENLARGED DETAILS FOR EXTERIOR PROFILES AT EAVES AND RAKES.

BUILDING ELEVATIONS KEY NOTES

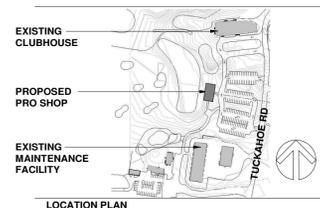
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SCALE 1/4" = 1'-0" DATE MAR. 18, 2020

SHEET TITLE
PROPOSED EXTERIOR
ELEVATIONS

PROJECT No. SHEET No.

SHI07.00 A2.02

DEPARTMENT OF LAND MANAGEMENT

PLANNING BOARD
116 Hampton Road
Southampton, NY 11968

Phone: (631) 287-5735
Fax: (631) 287-5706
www.southamptontownny.gov

TOWN OF SOUTHAMPTON



JAY SCHNEIDERMAN
TOWN SUPERVISOR

CHAIR
JACQUI LOFARO

VICE CHAIRPERSON
DENNIS FINNERTY

SECRETARY
PHILIP A. KEITH

BOARD MEMBERS
JOHN J. BLANEY
GLORIAN BERK
ROBIN LONG
JOHN D. ZUCCARELLI

SITE PLAN/SPECIAL EXCEPTION APPLICATION FORM

This application form is required as part of any request to process the action listed below. In addition, Chapter [§330](#) of the Town of Southampton Code requires specific material to be submitted in conjunction with this form. Other required items are indicated on the attached application checklist. It is the applicant's responsibility to insure that application package is complete and accurate. Incomplete applications will not be processed.

1. All applications must be completed in full and comply with [§330](#) of the Town Code. Incomplete application packages will not be accepted.
2. These instructions and the application form shall be read carefully and understood before completing. Any questions should be referred to the Planning Division, Ph: 631-287-5735.
3. As per [§330-183](#) of the Zoning Law, a complete Site Plan application shall consist of the following: *(check those appropriate)*
 - Application form and copies in appropriate numbers
(a minimum of fifteen copies and additional copies if necessary)
 - Appropriate Site Plan review fee (See [§ 330-183B](#))
 - Area to be improved is less than 500 sq.ft. **\$1,100**
 - Area to be improved is greater than or equal to 500 sq.ft. and less than 10,000 sq.ft. **\$2,100**
 - Area to be improved is greater than or equal to 10,000 sq.ft.: **\$.25 per sq.ft.** *(not to exceed \$15,000)*
 - Site Plans, in appropriate quantity *(a minimum of fifteen copies and additional copies if necessary)* complying with minimum submission requirements listed in [§330-183-C](#). The site plan may include landscape/grading plans, lighting plans, drainage plans, architectural building elevations and floor plans
 - Appropriate Environmental Assessment Form (EAF, if necessary. Check Town Code [§157](#) and with the Planning Department).
4. A complete Special Exception application shall consist of the four items (a-d) mentioned in number 3 above, plus the following (check those appropriate, write NA where not applicable).
 - Legal petition, signed and notarized, explaining in detail how the proposed project will comply with Special Exception Standards.
 - Fee of **\$1,100** (plus **\$325** for special conditions and safeguards) (separate from review fee)

5. A minimum of fifteen sets of applications and plans are required. Additional copies of the application (SP and/or SE) and site plan may be necessary, if the following conditions are met:

2- Wetlands Permit required (See Chapter §325 of Southampton Town Code)

1- Project fronts a County Road

3 - Project fronts a State Road

1 - Special Exception Permit

1 - Project located in Pine Barrens compatible growth area or core area

12 Total Copies

6. Application is hereby made to the Southampton Town Board for a Construction Permit for buildings and other structures customarily accessory and incidental to agricultural production as defined by Section 301 of the New York State Agricultural and Markets Law and in accordance with the provisions of the Zoning Law of the Town of Southampton Article X Agricultural Overlay District, Section § [330-50](#)

Farmlands Preservation Program. Further, nine (9) copies of the following are submitted herewith (check those appropriate, write NA where not applicable).

A copy of the approved subdivision map defining the grant easement (agricultural reserve) and the location of the proposed construction, if applicable.

A copy of the recorded grant easement (agricultural reserve) or development rights indenture

A copy of the Planning Board resolution approving the subdivision plan and other covenants, if applicable.

A site plan, at a scale of no less than one (1) inch equals forty (40) feet, prepared by an architect, civil engineer, or surveyor, and consisting of the following information unless waived by the Farmland Permit Administrator.

Agricultural Construction Permit Application Fee **\$1,100.00**

7. A [Fee Schedule](#) is included in this package.

PLEASE NOTE: If the site was subject of a previous site plan approval then new site plans may be necessary for the Special Exception request, however, the required number of as built surveys and petitions are still required.

Application Name: Shinnecock Hills Golf Club, parking lot and pro shop relocation, caddy building project

SCTM No.: 900-157-1-6.001, 900-157-2-1, 900-157-2-2

Property Address: 200 Tuckahoe Road, Southampton, NY 11968

I. General Information

a) Applicant's Name: Tony Panza, AIA
Address: Turtle Pond Road, Southampton, NY 11968
Phone No.: 917-318-1445

b) Name of Business (Existing ~~or Proposed~~): Shinnecock Hills Golf Club
Address: 200 Tuckahoe Road, Southampton, NY 11968

c) If the applicant is a corporation, give the name and title of the responsible Officer:
Name: _____
Title: _____

d) Landowner's Name: Shinnecock Hills Golf Club
Address: 200 Tuckahoe Road, Southampton, NY 11968

e) Licensed Architect, Landscape Architect, Civil Engineer or Land Surveyor
Name: Rogers McCagg Architects
License No: 038883-1
Address: 44 North Main Street South Norwalk, CT 06854
Telephone: 203-354-5215

f) If the applicant does not own the property, prepare the [Owner Endorsement Form](#) at the end of this packet establishing authorization of the applicant's proposed subdivision of his land.

g) All communications with regard to this subdivision shall be addressed to the following person until further notice:
Name: Tony Panza
Address: 29 Turtle Pond Road Southampton, NY 11968
Phone No: 917-318-1445

II. Proposed Site

a) General location of Property 100 yards north
of, County Road 39, approx. 20 feet west
(street or road)

(
feet) (north/east/south/west)
of, Tuckahoe Road, m. _____
(nearest interesting street)
(hamlet)

b) Total area under consideration: 82,000 sq. ft. or
1.9 acres.

c) Zoning District(s): R-120
Zoning Districts of adjoining Properties: R-120, R-20, R-40, R-60, U25

- d) Zoning Overlay(s) (Please check all that apply)
- i. Agricultural*
 - ii. Aquifer Protection
 - iii. Tidal Flood Plain
 - iv. Tidal Wetland & Ocean Beach
 - v. Old Filed Map
 - vi. Archaeological* (NYS Circles and Squares map)

*Include a survey showing the location of Class I and II prime agricultural soils

e) Latest Deed(s) describing this parcel(s) is/are recorded in the Suffolk County Clerk's Office as Follows:

DATE:	LIBER:	PAGE:
Mar 23, 1949	2941	311
Mar 23, 1949	2941	322

f) Are there any encumbrances or liens against this land other than mortgages? Yes No

g) Description of Project:
In the space below, please provide a description of the project, the proposed use and operation thereof, including a detailed explanation of the design concept, the objective of the project sponsor and how the project is or is not in compliance with the Town Code.
Additional sheets may be added if necessary
See attached sheet.

g) Description of Project:

In the space below, please provide a description of the project, the proposed use and operation thereof, including a detailed explanation of the design concept, the objective of the project sponsor and how the project is or is not in compliance with the Town Code.

The project to relocate the parking and pro shop at Shinnecock Hills Golf Club is in compliance with all Town Code, County, and NY State codes.

The project is to relocate the existing parking area located east of Tuckahoe Road to the west side of Tuckahoe Road, south of the Clubhouse. In order to make space for the relocated parking lot, we will take down the existing pro shop and build a new pro shop further south closer to the range tee. In addition, we will relocate the putting green, currently located south of the clubhouse, to the west and the golf practice area (green and bunkers) to the southwest of the range tee.

The design concepts for the project are safety, sequence, and aesthetic. Relocating the parking lot to the west side of Tuckahoe Road greatly reduces the number of pedestrian crossings of what has become a very busy road. With the parking area, pro shop, and putting green re-aligned, we can improve the arrival sequence to the club. The original design intent for the Clubhouse location was to set the Clubhouse on the top of the hill such that sight lines of the clubhouse from every direction would not be impeded by other buildings, plantings, parking, etc. This project will bring back the historical intent of the clubhouse sighting.

III. Characteristics of Site and Surrounding Lands

a. Current land use of site (agricultural, commercial, undeveloped)

Private 18 hole golf course

b. Current conditions of site (building, brush, etc.)

18 hole links style golf course

c. Character of surrounding lands (within 200 feet) (residential, commercial, agriculture, wetlands, etc)

Residential, Commercial (school & university), Commercial (two golf courses)

IV. Nature of Use (i.e. retail, office, warehouse): Private 18 hole golf course

IV. Nature of construction:

a. Anticipated construction time: 10 months

b. Will Development be staged? YES: NO:

V. Impact:

a. Anticipated increase in number of residents, shoppers, employees, etc.

No increase in members or employees, this is a building replacement.

VI. Zoning:

a. Has an application been made to the Zoning Board of Appeals for this property? YES: NO:

If yes, please list the name of application and date of determination.

b. Is a Change of Zone requested at this time? YES: NO:

VII. Buildings:

a. Are all buildings and structures shown on the survey? YES: NO:

b. Existing Building Area Coverage: Square Feet: 34,285 Percent Lot: 0.42

c. Proposed Building Area Coverage: Square Feet: 36,665 Percent Lot: 0.45

d. Height of Proposed Buildings: Feet: 24'-8", 18'-0" Stories: 1 1/2, 1

e. Residential Buildings: Number of Dwelling Units by Size
not applicable

f. Non-Residential Buildings: Total Floor area and Total Sales area

Pro Shop - Basement 1,770sf, First 2,015sf, Mezz 490sf

Caddy - 1,175sf with a 425sf garage

g. Is a cellar proposed? YES: NO:

h. Proposed siding material: Pro Shop - cedar shingle, Caddy - cedar shingle

Roofing material: Pro Shop - cedar shingle, Caddy - asphalt shingle

Construction Type: Pro Shop - wood framing (5B), Caddy - wood framing (5B)

i. Are fire-walls proposed or necessary? YES: NO:

j. Standard Industrial Classification Code Number:
not applicable

(as identified in the Table of Use Regulations listed in the Town Code)

VIII. Utilities

The site will be served by the following utilities:

Fire District: Southampton Fire District

Water District or Company: SCWA

Electric and/or Gas Company: PSE&G

Post Office: Town of Southampton

School District: Tuckahoe

IX. Signs

- a. Are there any existing free-standing or attached signs? YES: NO:
(all signs must be indicated on site plan.)
- b. Have sign permits been obtained for all existing signs? N/A YES: NO:
- c. Are free-standing or attached signs proposed? YES: NO:

**Plans indicating location, size, colors and materials of all proposed signs must be submitted with the site plan application. A Sign Permit from the Building Department must be obtained for all signs.

X. Parking

- a. Number of off-street parking spaces required as calculated using the Schedule of Off-Street Parking Space Requirements for Non-Residential Uses, listed in Section 330-94 of the Town Code: GOLF COURSE, RETAIL, EMPLOYEE - 95 REQUIRED (SEE SHEET C-3)
- b. Number of existing parking spaces: 98
- c. Number of handicap parking spaces provided (must be at least 5% of total parking spaces provided.): 5
- d. Number of truck loading spaces: 0
- e. Is a parking waiver requested? YES: NO: If yes, for how many spaces? _____

Note: a formal letter requested waiver must be submitted separately along with this application

XI. State Environmental Quality Review Act (SEQR)

(Pursuant to Part 617, NYCRR and Chapter 157 of Town Code)

- a. Do any tidal or freshwater wetlands occur on the subject site? YES: NO:
- b. Are the wetlands and/or the proposed activity regulated by the following agencies?
 New York State Department of Environmental Conservation: YES: NO:
 U.S. Army Corps of Engineers: YES: NO:
 Southampton Town Conservation Board: YES: NO:
 Southampton Town Trustees: YES: NO:
- c. Has a permit been obtained from any of the above agencies? YES: NO:
If yes, which ones? _____
- d. Is the site located in a designated critical environmental area? YES: NO:
If yes, which ones? _____
- e. Is the proposed action a Type I, Type II, or unlisted action? Type II

Note: Part I of an Environmental Assessment Long Form must be submitted for all Type I and Unlisted Actions

***PLEASE SUBMIT 15 COPIES OF APPLICATION AND PLANS. ***

***Note:** A minimum of 15 copies is required. Additional copies may be necessary.

I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto and true and correct.

Tony Panza

Applicant's Name



Applicant's Signature

Sworn before me this 11th day of March 2020



Notary Public



5. During the 24 months before the filing of this application, have any of the following individuals made campaign contributions exceeding \$500 in total, in cash or in kind, to the campaign for public office of any Town officer or employee, to any individual campaign committee, or to any political party committee designated to accept donations on such Town official's or employee's behalf as a candidate for public office?

	<u>Yes</u>	<u>No</u>
1. Owner	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Applicant	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Agent for owner or applicant	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Attorney	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. Other	<input type="checkbox"/>	<input checked="" type="checkbox"/>

If the answer to Question 5 is yes, Town Code Chapter 23 requires that the information be provided below:

<u>Name/Address</u>	<u>Amount/Date</u>	<u>Name of Campaign Committee</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____

6. During the preceding 24 months before the filing of this application, have any of the following individuals employed any Town officer or employee or a relative thereof involving compensation in an amount of \$500 or more? Said compensation may be directly made, or indirectly made through a corporation or business interest held by any Town officer or employee or their relative.

	<u>Yes</u>	<u>No</u>
1. Owner	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Applicant	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Agent for owner or applicant	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Attorney	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. Other	<input type="checkbox"/>	<input checked="" type="checkbox"/>

If the answer to Question 6 is yes, Town Code [Chapter 23](#) requires that the information be provided below:

<u>Name</u>	<u>Position</u> (Owner, Agent, Attorney, Other)	<u>Corporation</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____

READ AND CHECK BOX

False statements made herein are punishable as a class "A" Misdemeanor pursuant to Section 210.45 of the New York State Penal Law.

A. For the purposes of this disclosure, an official of the State of New York or an elected or appointed official or employee of the Town of Southampton shall be deemed to have an interest in the owner and/or applicant when that official or employee, their spouse, brothers, sisters, parents, children, grandchildren or the spouse of any of them is:

- a. the owner or applicant; or
- b. an officer, director, partner, or employee of the applicant or owner; or
- c. Legally or beneficially owns or controls stock of a corporate applicant or owner, or is a member of a partnership or association applicant or owner; or
- d. Is a party to an agreement with the applicant or owner, express or implied, whereby said official or employee may receive any payment or other benefit, whether or not for services rendered, dependent or contingent upon the favorable approval of such application. Ownership of less than five percent of the stock of a corporation whose stock is listed on the New York Stock or American Stock Exchange shall not constitute an interest for the purposes of this disclosure.

Submitted by (please print): Tony Panza

SITE PLAN/SPECIAL EXCEPTION APPLICATION FORM CHECK LIST
THIS FORM TO BE COMPLETED BY APPLICANT

Project Name: SHGC Parking Lot and Pro Shop Relocation

SCTM No.: 900-157-1-6.001, 900-157-2-1, 900-157-2-2

Property Address or Location: 200 Tuckahoe Road

Contact Person: Tony Panza

Application submitted by: Property Owner Owner's Agent

Date: 03/20/2020

SUBMISSION REQUIREMENTS
IS ITEM INCLUDED?
PLEASE CHECK YES OR NO

	YES	NO
Fees:		
Site Plan:		
1. The improved or altered area is 500 SF or less	<u> </u>	<u> ✓ </u>
2. The improved area of the project is greater than 500 SF but does not exceeds 2 acres	<u> </u>	<u> ✓ </u>
3. The improved area of the project exceeds 2 acres	<u> ✓ </u>	<u> </u>
Special Exception Fee	<u> </u>	<u> ✓ </u>
Fee Waiver Requested	<u> </u>	<u> ✓ </u>
Site Plan Application Form	<u> ✓ </u>	<u> </u>
Special Exception Legal Petition	<u> </u>	<u> ✓ </u>

Site Plan: Legal Data

Site plan @ 1" = 40' or greater	<u> ✓ </u>	<u> </u>
Key Map @ 1" = 200' or greater	<u> ✓ </u>	<u> </u>
Name and Address of Owner of Record	<u> ✓ </u>	<u> </u>
Name and Address of person/firm preparing map	<u> ✓ </u>	<u> </u>
Signed/Stamped	<u> ✓ </u>	<u> </u>
Date	<u> ✓ </u>	<u> </u>
North Arrow	<u> ✓ </u>	<u> </u>
Scale (Graphic or Written)	<u> ✓ </u>	<u> </u>
Property Description (error of closure not exceed 1 in 10,000)	<u> ✓ </u>	<u> </u>
Location, Names, Ownership of adjacent streets and curblines	<u> ✓ </u>	<u> </u>

Adjoining lands and owners	<u>✓</u>	—
Public easements, setbacks, or dedicated area on site or adjoining land	<u>✓</u>	—
Outline of existing easements, deed restrictions or covenants on site	<u>✓</u>	—
Existing Zoning	<u>✓</u>	—

Site Plan: Natural Features

Existing contours at max. 2’ intervals, or spot elevations (Identify source of contour information)	<u>✓</u>	—
Approximate boundaries of areas subject to flooding	<u>✓</u>	—
Identification of unique natural features (wetlands, steep slopes)	<u>✓</u>	—
Identification of cultural features on site or adjacent Archeological, historic buildings, agricultural fields on or adjacent	—	<u>✓</u>

Site Plan: Existing Structures and Utilities

Building footprints and uses not requiring buildings	<u>✓</u>	—
All paved areas, parking areas, sidewalks, vehicular access to street	<u>✓</u>	—
Existing culverts (dimension and grades) flow direction and grades	—	<u>✓</u>
Underground/above ground utilities on site and adjacent		
Electrical Service	<u>✓</u>	—
Water Mains	<u>✓</u>	—
Sewer Mains	<u>✓</u>	—
All existing site structures (including fences)	<u>✓</u>	—
Location and use of all buildings and structures within 200’	<u>✓</u>	—
Nearest Fire Hydrant, cisterns, other fire protection	<u>✓</u>	—

Site Plan: Proposed Development

Location of building or structures <i>(Indicate all setbacks and horizontal distances from existing structure)</i>	<u>✓</u>	—
Location and design of non-structural elements (parking, loading areas)	<u>✓</u>	—
Parking calculations		
Automobile	<u>✓</u>	—
Truck	—	<u>✓</u>
Outdoor lighting plan – location & lamp Design (Lightening power w/ foot-candles indicated on site plan, and time of use)	—	<u>✓</u>
Grading and drainage plan	<u>✓</u>	—
Drainage calculations	<u>✓</u>	—
Proposed contours/spot elevations	<u>✓</u>	—
Sewage disposal treatment	<u>✓</u>	—

Storage areas for materials, vehicles, equipment, supplies, products	—	✓
Building Elevations including:	✓	—
Description of materials, colors	✓	—
Sign Plans	—	✓
Proposed location	—	✓
Design	—	✓
Landscape Plans	✓	—
Plant List	✓	—
Size and Quantity	✓	—
Cablevision installations, location of water valves, water supply	✓	—
Outdoor storage areas (located in side or rear yard and screened or fenced)	—	✓
Phased development plans (when appropriate)	—	✓
Compliance with ZBA Variance (if applicable)	—	✓

Additional Materials:

Certificate of Appropriateness (Landmarks & Historic District)	—	✓
Wetland Permit Application (if applicable)	—	✓
Sign Permit Application (if applicable)	—	✓
Owners Endorsement	✓	—
Disclosure Affidavit	✓	—
Agriculture Data Statement	✓	—

Additional Comments:

For all information that is not provided state "No".
If the applicant believes these items are not applicable, indicate such and give reasoning.

Other comments about the submission may be provided here.

NO EXISTING CULVERTS
NO SITE LIGHTING PROPOSED, ONLY BUILDING MOUNTED LIGHTS AT COVERED PORCH CLG
ALL CONSTRUCTION MATERIAL & EXCAVATION TO REMAIN IN
DISTURBED AREAS ONLY
NO SIGNAGE THAT REQUIRES PERMIT (JUST ADA & DIRECTIONAL
SIGNAGE)

Tony Panza, AIA

 Applicant's Name



 Applicant's Signature

AGRICULTURAL DATA STATEMENT

Pursuant to §283-a of the New York State Town Law, any application for a special permit, site plan approval, use variance or subdivision approval requiring municipal review and approval by the Town Board, Planning Board or Zoning Board of Appeals that would occur on property within an agricultural district containing a farming operation or on properties within 500 feet of a farm operation located within an agricultural district, shall include an Agricultural Data Statement. The law also requires that the reviewing Board mail written notice of such an application to the owners of land within the agricultural district that contains a farm operation, which is located within 500 feet of the boundary of the project site. The cost of the mailing shall be borne by the applicant.

1. Project Name: SHGC Parking Lot and Pro Shop Relocation

2. Name of Applicant: Shinnecock Hills Golf Club

3. Address of Applicant: 200 Tuckahe Road Southampton

4. SCTM # of Project: 900-157-1-6.001, 900-157-2-1, 900-157-2-2

5. Project Location: 200 Tuckahe Road Southampton

6. Description of Project: Relocation of the existing parking lot from the east side of Tuckahoe Road to the west side. Replacement and relocation of Pro Shop to the southwest. Relocation of two putting greens and construction of a Caddy Building.

7. If the property that is the subject of the pending development application is located in an Agricultural District, you must compile and submit a list of tax parcels, with owners names and addresses, for all tax parcels containing a farm operation located within 500 feet of the property that is the subject of the pending development application.

If the property that is the subject of the pending development application is located outside of an Agricultural District, you must compile and submit a list of tax parcels, with owners names and addresses, for all tax parcels containing a farm operation located within an Agricultural District and within 500 feet of the property that is the subject of the pending development application.

8. Submit a survey map showing the site of the proposed project relative to the location of farm operation parcels identified in item 6, above.

9. Submit legal size envelopes, pre-addressed to each of the parcel landowners identified in item 6, above with pre-paid certified mail postage, together with pre-addressed, green, return receipt cards

for each mailing. The return address on the return receipt card must read "SOUTHAMPTON TOWN PLANNING BOARD, 116 HAMPTON ROAD, SOUTHAMPTON, NY 11968"

If you do not believe that you are subject to this requirement, please complete the following and sign below:

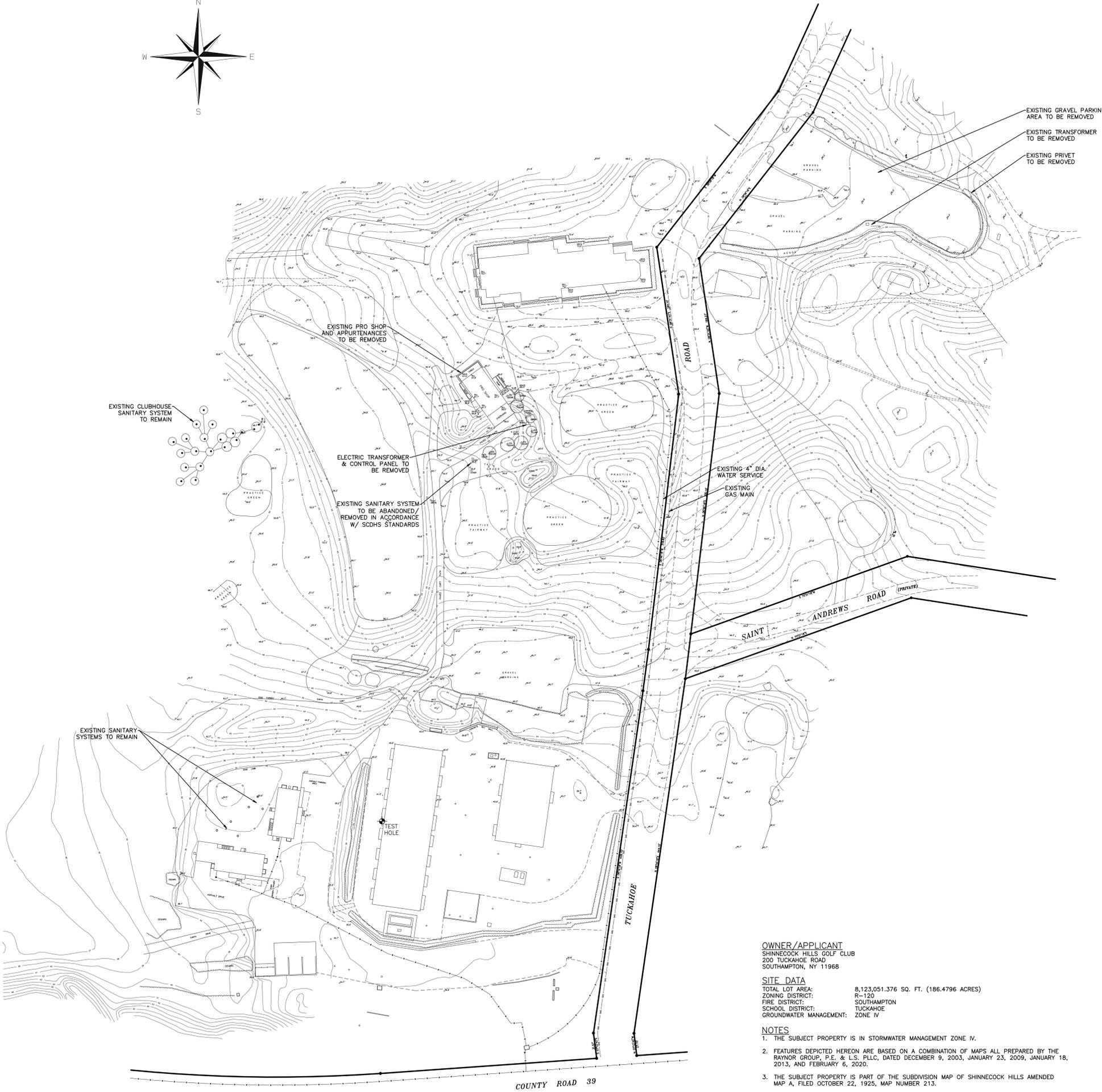
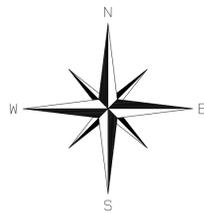
I have reviewed the requirements for the submission of an Agricultural Data Statement and find that said statement is not applicable to this application for the following reasons:

The subject property is neither located in an Agricultural District or within 500'

of an Agricultural District or farm operation.



Applicant's/ Applicant Agent's Signature



KEY MAP
SCALE: 1"=400'

LOT	OWNER	USE
1	NATIONAL GOLF LINKS OF AMERICA	GOLF COURSE
2	SHINNECOCK HILLS GOLF COURSE	GOLF COURSE
3	THE JOANNA KOMOSKA IRREVOCABLE TRUST	RESIDENCE
4	TOWN OF SOUTHAMPTON	VACANT
5	CECILIA SANFALDO	RESIDENCE
6	KABJ DEVELOPMENT CORP	VACANT
7	JOHN L. HANLON	RESIDENCE
8	LINDA S. & FRANK L. IACCIO ASSET MGMT TRUST	RESIDENCE
9	PAUL E. SIMS	RESIDENCE
10	FREDERICK J. MARCINIUK	RESIDENCE
11	ROBERT M. JOYCE	RESIDENCE
12	JOSEPH SBARRA	RESIDENCE
13	KATHLEEN MASTERSON	RESIDENCE
14	MP BUILDERS LLC	RESIDENCE
15	LINDA BASLICE-HOERRNER	RESIDENCE
16	CECILIA PANZOZZO	RESIDENCE
17	ANN ELIZABETH WELKER (TRUSTEE)	RESIDENCE
18	STEPHEN J. MCCLAIN	RESIDENCE
19	PATRICIA PILCHER PIZZANO (TRUSTEE)	RESIDENCE
20	ROBERT A. COSTELLO	RESIDENCE
21	DEBORAH HARRINGTON	RESIDENCE
22	BARRY A. GALLOGLY	RESIDENCE
23	40 OVERLOOK, LLC	VACANT
24	OVERLOOK GATE LLC	RESIDENCE
25	ROBERT COSTELLO	RESIDENCE
26	ARTO KASPARIAN	RESIDENCE
27	SOUTHAMPTON GOLF CLUB	GOLF COURSE
28	SHINNECOCK HILLS GOLF CLUB	GOLF COURSE
29	SHINNECOCK HILLS GOLF CLUB	GOLF COURSE
30	SUFFOLK COUNTY	VACANT
31	NATURE CONSERVANCY, INC.	VACANT
32	THOMAS A. PEARSON	RESIDENCE
33	1435 COUNTY ROAD LLC	RESIDENCE
34	NATIONAL GOLF LINKS OF AMERICA	GOLF COURSE
35	NATIONAL GOLF LINKS OF AMERICA	GOLF COURSE

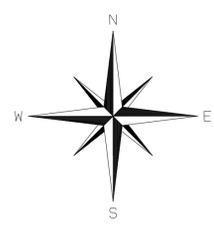
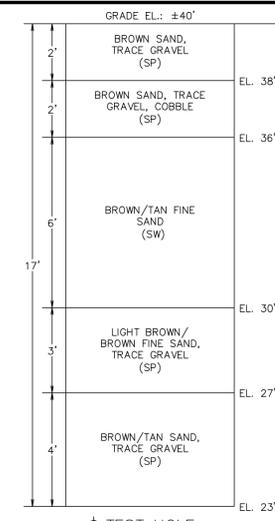


OWNER/APPLICANT
SHINNECOCK HILLS GOLF CLUB
200 TUCKAHOE ROAD
SOUTHAMPTON, NY 11968

SITE DATA
TOTAL LOT AREA: 8,123,051.376 SQ. FT. (186.4796 ACRES)
ZONING DISTRICT: R-120
FIRE DISTRICT: SOUTHAMPTON
SCHOOL DISTRICT: TUCKAHOE
GROUNDWATER MANAGEMENT: ZONE IV

- NOTES**
1. THE SUBJECT PROPERTY IS IN STORMWATER MANAGEMENT ZONE IV.
 2. FEATURES DEPICTED HEREON ARE BASED ON A COMBINATION OF MAPS ALL PREPARED BY THE RAYNOR GROUP, P.E. & L.S. PLLC, DATED DECEMBER 9, 2003, JANUARY 23, 2009, JANUARY 18, 2013, AND FEBRUARY 6, 2020.
 3. THE SUBJECT PROPERTY IS PART OF THE SUBDIVISION MAP OF SHINNECOCK HILLS AMENDED MAP A, FILED OCTOBER 22, 1925, MAP NUMBER 213.
 4. ELEVATIONS ARE REFERENCED TO THE NORTH GEODETIC VERTICAL DATUM OF 1929 (NGVD29).
 5. ALL LOTS WITHIN 200 FEET OF THE SUBJECT PROPERTY ARE CONNECTED TO PUBLIC WATER.

DATE	BY	DESCRIPTION	APPRVD
REVISIONS			
SHINNECOCK HILLS GOLF CLUB			
200 TUCKAHOE ROAD SOUTHAMPTON, NY 11968			
PRO-SHOP, CADDIE FACILITY & PARKING IMPROVEMENTS PROJECT			
200 TUCKAHOE ROAD, SOUTHAMPTON, NY 11968 SCTM NOS.: 0900-157.00-01.00-006.001 & 0900-157.00-02.00-001.000			
EXISTING CONDITIONS & DEMOLITION PLAN			
THE RAYNOR GROUP, P.E. & L.S. PLLC SURVEYORS CIVIL ENGINEERS SITE PLANNERS			
DEERFIELD GREEN WATER MILL, NY 11976 P.O. BOX 720 (631)726-7600			
DESIGNED BY: VAG	SCALE: 1"=60'	DWG. NO.	
DRAWN BY: KK	DATE: 03/20/2020	C-1	
APPROVED BY: VAG	FILE NO.: 2347.04		



TEST HOLE
DUG BY SOIL MECHANICS
DRILLING CORP.
MAY 9, 2003
(NO G.W. ENCOUNTERED)

THE CLOSEST USGS MONITORING WELL LOCATED IN THE TOWN OF SOUTHAMPTON LISTS THE HIGHEST RECORDED GROUNDWATER ELEVATION AS 4.48' ABOVE THE SPECIFIC VERTICAL DATUM USGS WELL NO. S 57366.1

OWNER/APPLICANT
SHINNECOCK HILLS GOLF CLUB
200 TUCKAHOE ROAD
SOUTHAMPTON, NY 11968

SITE DATA
TOTAL LOT AREA: 8,123,051.376 SQ. FT. (186.4796 ACRES)
ZONING DISTRICT: R-120
FIRE DISTRICT: SOUTHAMPTON
SCHOOL DISTRICT: TUCKAHOE
GROUNDWATER MANAGEMENT: ZONE IV

COVERAGE CALCULATIONS

EXISTING COVERAGE:
CLUBHOUSE: 9,735 S.F.
PRO SHOP: 1,630 S.F.
MAINTENANCE BLDG "A": 12,070 S.F.
MAINTENANCE BLDG "B": 6,070 S.F.
STAFF HOUSING: 3,950 S.F.
PUMP HOUSE: 830 S.F.
TOTAL: 34,285 S.F. (0.42%)

PROPOSED COVERAGE:
CLUBHOUSE: 9,735 S.F.
PRO SHOP: 2,147 S.F.
CADDY BUILDING: 2,000 S.F.
MAINTENANCE BLDG "A": 12,070 S.F.
MAINTENANCE BLDG "B": 6,070 S.F.
STAFF HOUSING: 3,950 S.F.
PUMP HOUSE: 830 S.F.
TOTAL: 36,820 S.F. (0.45%)

STORMWATER NOTES

1) IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 285 - STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL OF THE TOWN OF SOUTHAMPTON ZONING CODE, A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE PREPARED AND PERMIT COVERAGE UNDER THE NYSDEC, SPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITY (GP-0-20-001) FOR THE PROPOSED COMMERCIAL LOT DEVELOPMENT SHALL BE OBTAINED.

2) LIMIT OF DISTURBANCE:
PRO SHOP & PARKING AREA = 152,933 S.F. (3.51 ACRES)
CADDIE BLDG & PARKING AREA = 30,381 S.F. (0.70 ACRES)
GOLF IMPROVEMENTS = 38,507 S.F. (0.88 ACRES)
PARKING REMOVAL AREA = 34,292 S.F. (0.79 ACRES)
TOTAL = 256,113 S.F. (5.88 ACRES)

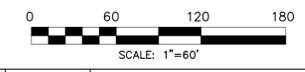
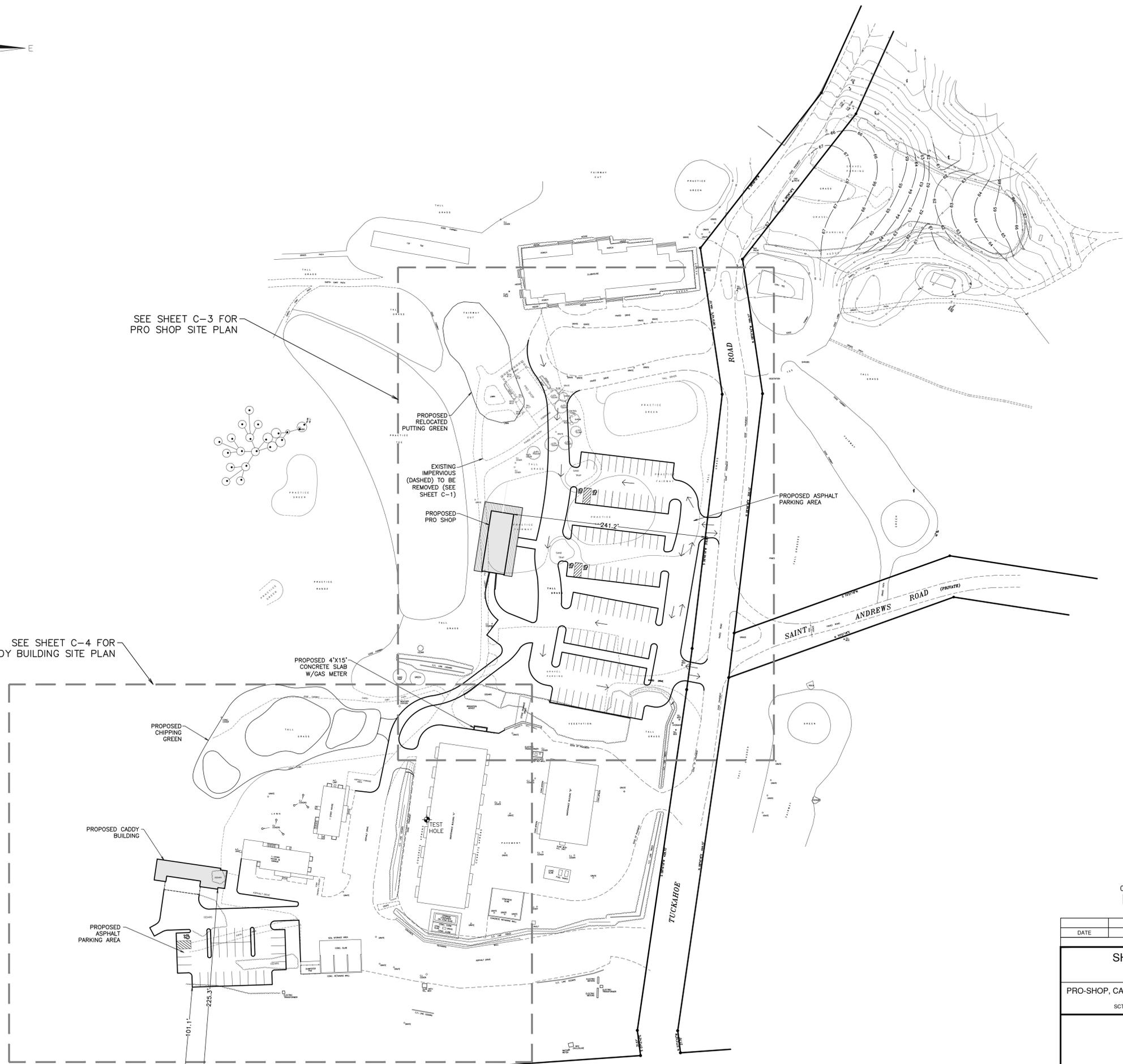
3) EXISTING IMPERVIOUS COVERAGE = ±186,107 S.F.
4) PROPOSED IMPERVIOUS COVERAGE = ±216,485 S.F.
5) STORMWATER RUNOFF TO BE CONTAINED ON-SITE WITH NO OVERLAND RUNOFF INTO ADJACENT PROPERTIES.
6) ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES TO BE PROVIDED WITH CAST IRON COVERS TO GRADE.
7) PROJECT CONSTRUCTION WILL BE PHASED SO AS TO NOT EXCEED (5) ACRES AT AT ONE TIME.

NOTES

1. THE SUBJECT PROPERTY IS IN STORMWATER MANAGEMENT ZONE IV.
2. FEATURES DEPICTED HEREON ARE BASED ON A COMBINATION OF MAPS ALL PREPARED BY THE RAYNOR GROUP, P.E. & L.S., PLLC, DATED DECEMBER 9, 2003, JANUARY 23, 2009, JANUARY 18, 2013, AND FEBRUARY 6, 2020.
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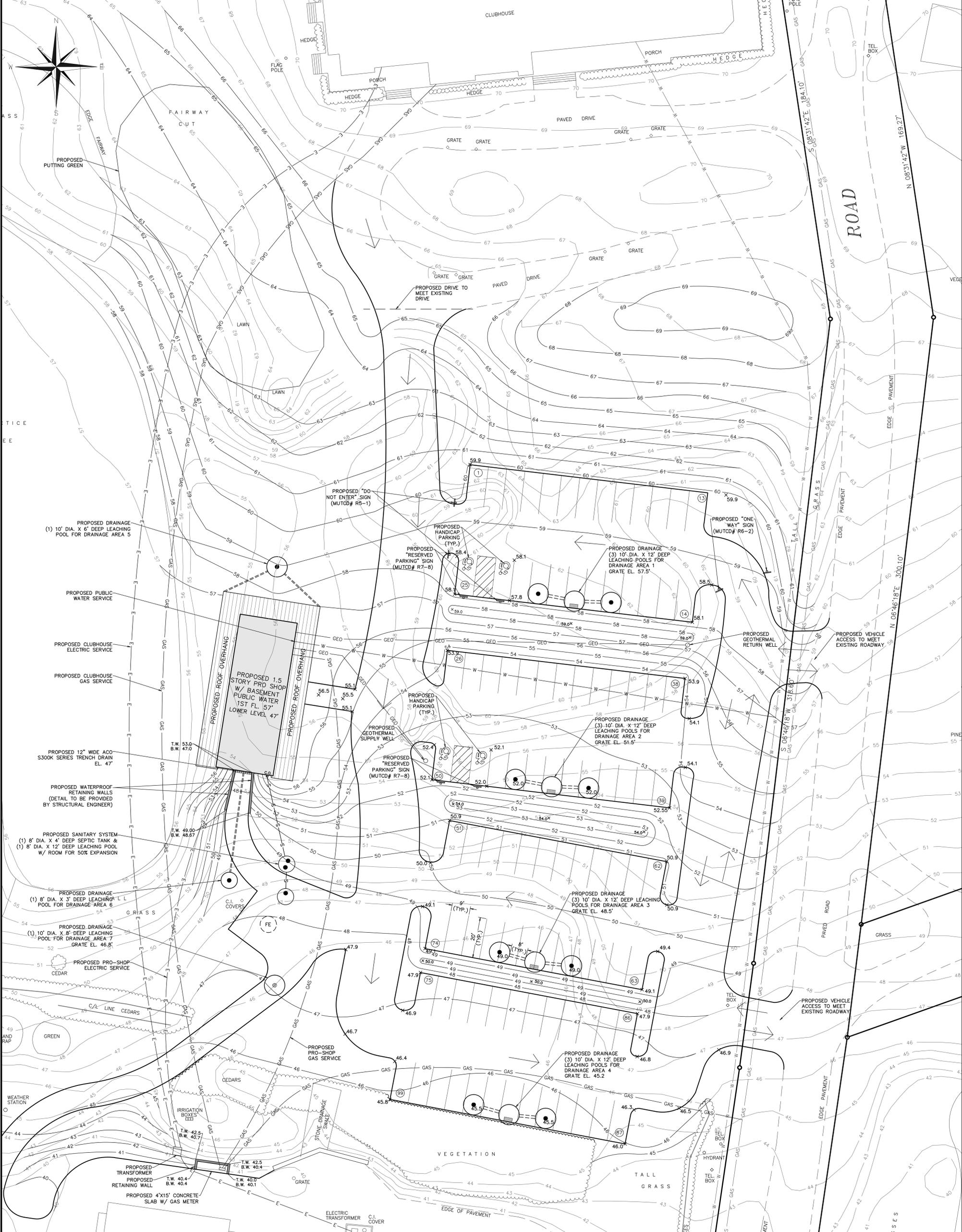
SEE SHEET C-3 FOR PRO SHOP SITE PLAN

SEE SHEET C-4 FOR CADDY BUILDING SITE PLAN



DATE	BY	DESCRIPTION	APPRVD
REVISIONS			
SHINNECOCK HILLS GOLF CLUB 200 TUCKAHOE ROAD SOUTHAMPTON, NY 11968			
PRO-SHOP, CADDIE FACILITY & PARKING IMPROVEMENTS PROJECT 200 TUCKAHOE ROAD, SOUTHAMPTON, NY 11968 SCTM NOS.: 0900-157.00-01.00-006.001 & 0900-157.00-02.00-001.000			
ALIGNMENT PLAN			
THE RAYNOR GROUP, P.E. & L.S., PLLC SURVEYORS CIVIL ENGINEERS SITE PLANNERS DEERFIELD GREEN WATER MILL, NY 11976 P.O. BOX 720 (631)286-7600			
DESIGNED BY: VAG	SCALE: 1" = 60'	DWG. NO.	
DRAWN BY: KK	DATE: 03/20/2020	C-2	
APPROVED BY: VAG	FILE NO.: 2347.04		

COUNTY ROAD 39



DRAINAGE DESIGN CRITERIA

- RUNOFF COEFFICIENTS:
 - ROOF = 1.0
 - ASPHALT = 1.0
 - LANDSCAPE = 0.2
- PROVIDE STORAGE CAPACITY FOR 2" RAINFALL
- 8" DIAMETER DRYWELL CAPACITY = 42.24 C.F./V.F.
- 10" DIAMETER DRYWELL CAPACITY = 68.42 C.F./V.F.
- ROOF CONNECTING PIPE TO BE 6" SDR-35 @ 1.5% MIN. UNLESS NOTED OTHERWISE.
- CATCH BASIN/DRYWELL INTERCONNECTING PIPE TO BE 15" HDPE @ 1.5% MIN. UNLESS NOTED OTHERWISE.

DRAINAGE CALCULATIONS

DRAINAGE AREA 1:
 ASPHALT DRIVE: 11,032.0 S.F. X 1.0 X 2" = 1,838.7 C.F.
 LANDSCAPE: 14,980.0 S.F. X 0.2 X 2" = 499.3 C.F.
 TOTAL = 2,338.0 C.F.
 USE (3) 10' DIA. X 12' DEEP LEACHING POOLS = 2,463.1 C.F.

DRAINAGE AREA 2:
 ASPHALT DRIVE: 13,122.5 S.F. X 1.0 X 2" = 2,187.1 C.F.
 LANDSCAPE: 4,736.0 S.F. X 0.2 X 2" = 157.9 C.F.
 TOTAL = 2,345.0 C.F.
 USE (3) 10' DIA. X 12' DEEP LEACHING POOLS = 2,463.1 C.F.

DRAINAGE AREA 3:
 ASPHALT DRIVE: 12,629.2 S.F. X 1.0 X 2" = 2,104.9 C.F.
 LANDSCAPE: 5,241.2 S.F. X 0.2 X 2" = 174.7 C.F.
 TOTAL = 2,279.6 C.F.
 USE (3) 10' DIA. X 11' DEEP LEACHING POOLS = 2,463.1 C.F.

DRAINAGE AREA 4:
 ASPHALT DRIVE: 13,205.8 S.F. X 1.0 X 2" = 2,201.0 C.F.
 LANDSCAPE: 2,199.9 S.F. X 0.2 X 2" = 73.3 C.F.
 TOTAL = 2,274.3 C.F.
 USE (3) 10' DIA. X 12' DEEP LEACHING POOLS = 2,463.1 C.F.

DRAINAGE AREA 5:
 PRO SHOP ROOF: 2,147 S.F. X 1.0 X 2" = 357.8 C.F.
 ASPHALT DRIVE: 2,147 S.F. X 1.0 X 2" = 357.8 C.F.
 USE (1) 10' DIA. X 6' DEEP LEACHING POOL = 410.5 C.F.

DRAINAGE AREA 6:
 ASPHALT DRIVE: 667.2 S.F. X 1.0 X 2" = 111.2 C.F.
 USE (1) 8' DIA. X 3' DEEP LEACHING POOL = 126.7 C.F.

DRAINAGE AREA 7:
 ASPHALT DRIVE: 2,137.8 S.F. X 1.0 X 2" = 356.3 C.F.
 ASPHALT DRIVE: 3,697.7 S.F. X 0.2 X 2" = 123.3 C.F.
 TOTAL = 479.6 C.F.
 USE (1) 10' DIA. X 8' DEEP LEACHING POOL = 547.4 C.F.

PARKING CALCULATIONS

RETAIL: 1 SPACE PER 180 S.F. OF GROSS FLOOR AREA

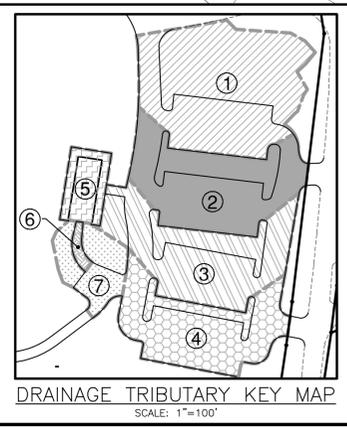
1 SPACE X 4,637 S.F. / 180 S.F. = 26 SPACES

GOLF COURSE: 3 SPACES PER HOLE + 1 SPACE PER EMPLOYEE

3 SPACES X 18 + 1 SPACE X 15 = 69 SPACES

PARKING REQUIRED = 95 SPACES

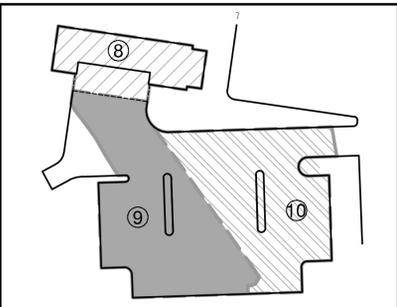
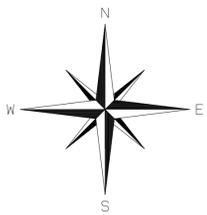
PARKING PROPOSED = 99 SPACES



0 20 40 60
SCALE: 1"=20'

DATE	BY	DESCRIPTION	APPRVD
SHINNECOCK HILLS GOLF CLUB 200 TUCKAHOE ROAD SOUTHAMPTON, NY 11968			
PRO-SHOP, CADDIE FACILITY & PARKING IMPROVEMENTS PROJECT SCTM NOS.: 0900-157-00-01-00-006, 01 & 0900-157-00-02-00-001, 002			
PRO SHOP SITE PLAN			
THE RAYNOR GROUP, P.E. & L.S. PLLC SURVEYORS CIVIL ENGINEERS SITE PLANNERS DEERFIELD GREEN WATER MILL, NY 11976 P.O. BOX 720 (631) 726-7600			
DESIGNED BY: VAG	SCALE: 1"=20'	DWG. NO.	
DRAWN BY: KK	DATE: 03/20/2020	C-3	
APPROVED BY: VAG	FILE NO.: 2347.04		

VINCENT A. GAIDELLO
PROFESSIONAL ENGINEER NO. 67284

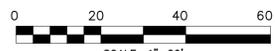
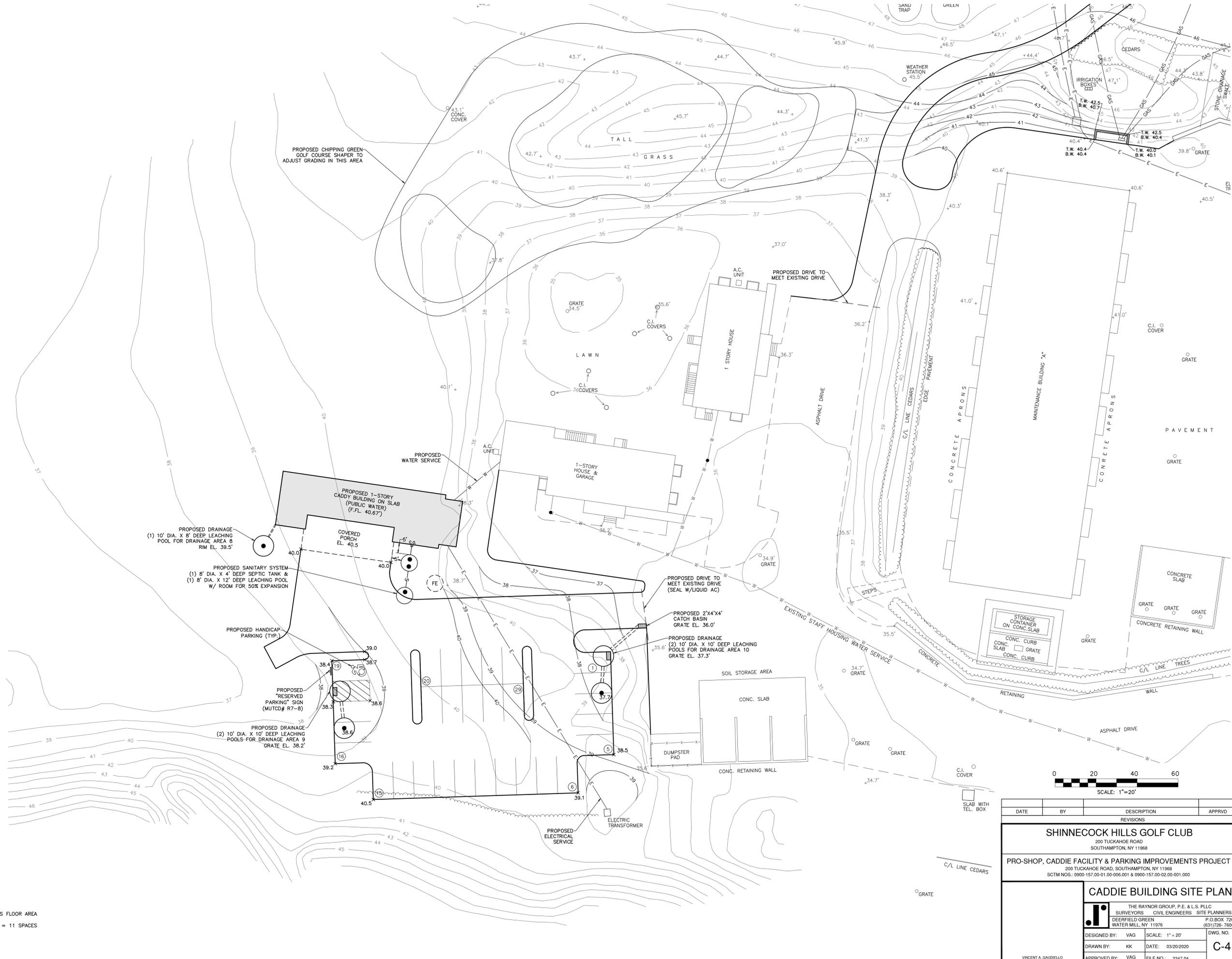


DRAINAGE TRIBUTARY KEY MAP
SCALE: 1"=50'

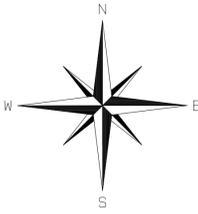
- DRAINAGE DESIGN CRITERIA**
- RUNOFF COEFFICIENTS:
 - ROOF = 1.0
 - ASPHALT = 1.0
 - LANDSCAPE = 0.2
 - PROVIDE STORAGE CAPACITY FOR 2" RAINFALL
 - 10" DIAMETER DRYWELL CAPACITY = 68.42 C.F./V.F.
 - ROOF CONNECTING PIPE TO BE 6" SDR-35 @ 1.5% MIN.
 - UNLESS NOTED OTHERWISE
 - CATCH BASIN/DRYWELL INTERCONNECTING PIPE TO BE 15" HDPE @ 1.5% MIN. UNLESS NOTED OTHERWISE.

- DRAINAGE CALCULATIONS**
- DRAINAGE AREA 8:**
 ROOF: 2,742 S.F. X 1.0 X 2" = 457.0 C.F.
 USE (1) 10" DIA. X 8" DEEP LEACHING POOLS = 547.4 C.F.
- DRAINAGE AREA 9:**
 ASPHALT DRIVE: 6,854.1 S.F. X 1.0 X 2" = 1,142.4 C.F.
 USE (2) 10" DIA. X 10" DEEP LEACHING POOL = 1,368.4 C.F.
- DRAINAGE AREA 10:**
 ASPHALT DRIVE: 6,231.9 S.F. X 1.0 X 2" = 1,038.7 C.F.
 USE (2) 10" DIA. X 10" DEEP LEACHING POOLS = 1,368.4 C.F.

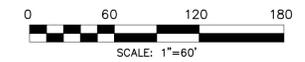
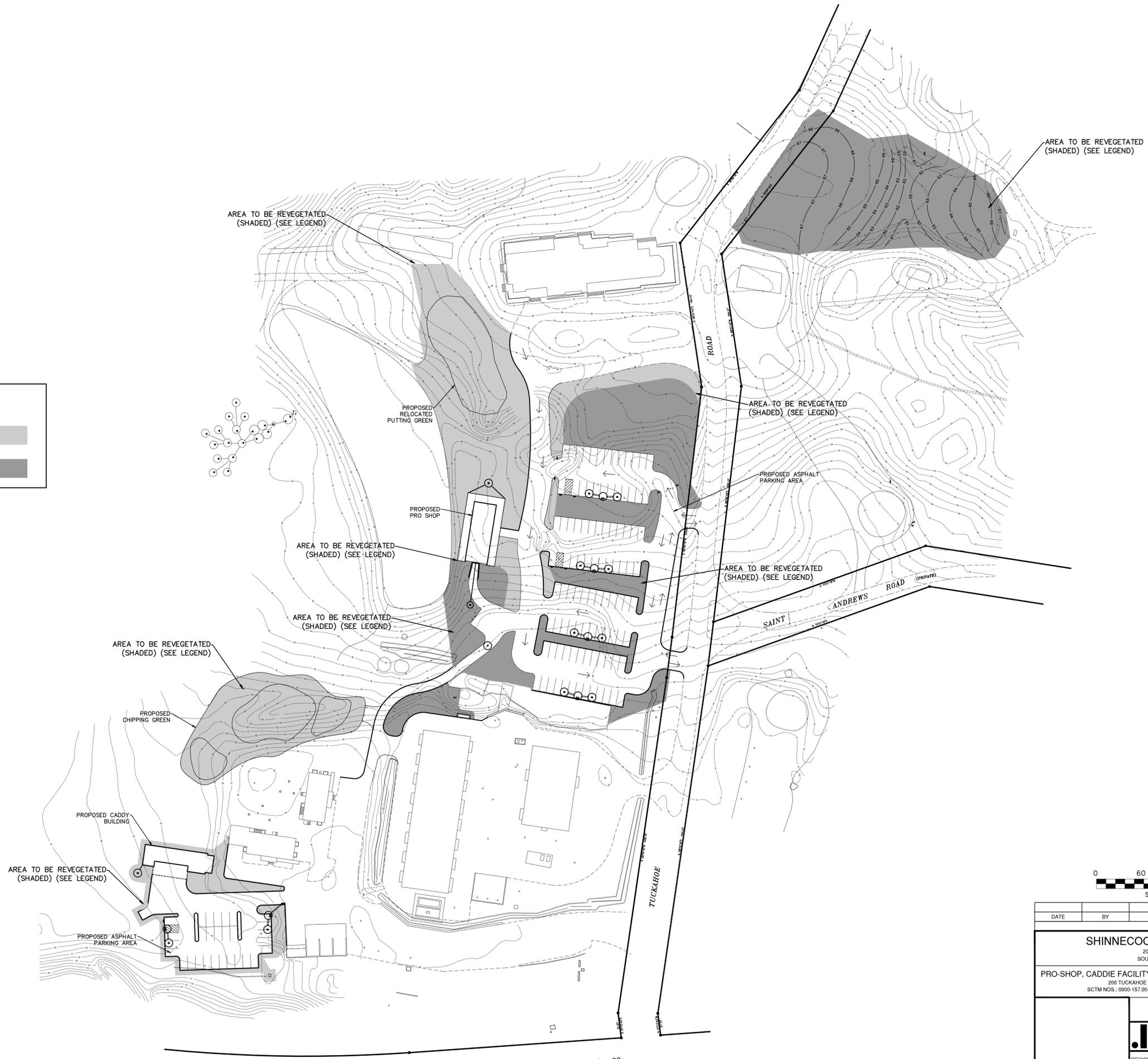
- PARKING CALCULATIONS**
 OFFICE BUILDING NOT OTHERWISE SPECIFIED: 1 SPACE PER 1,863 S.F. OF GROSS FLOOR AREA
- 1 SPACE X 1,863 S.F. / 180 S.F. = 11 SPACES
- PARKING REQUIRED = 11 SPACES
 PARKING PROPOSED = 29 SPACES



DATE	BY	DESCRIPTION	APPRVD
SHINNECOCK HILLS GOLF CLUB 200 TUCKAHOE ROAD SOUTHAMPTON, NY 11968			
PRO-SHOP, CADDIE FACILITY & PARKING IMPROVEMENTS PROJECT 200 TUCKAHOE ROAD, SOUTHAMPTON, NY 11968 SCTM NOS.: 0900-157.00-01.00-006.001 & 0900-157.00-02.00-001.000			
CADDIE BUILDING SITE PLAN			
THE RAYNOR GROUP, P.E. & L.S. PLLC SURVEYORS CIVIL ENGINEERS SITE PLANNERS DEERFIELD GREEN WATER MILL, NY 11976 P.O. BOX 720 (631)726-7600			
DESIGNED BY: VAG	SCALE: 1"=20'	DWG. NO.	
DRAWN BY: KK	DATE: 03/20/2020	C-4	
APPROVED BY: VAG	FILE NO.: 2347.04		



REVEGETATION LEGEND	
LAWN (67,300 S.F.)	
NATIVE FESCUE SEED MIX (82,146 S.F.)	



DATE	BY	DESCRIPTION	APPRVD
REVISIONS			
SHINNECOCK HILLS GOLF CLUB			
200 TUCKAHOE ROAD SOUTHAMPTON, NY 11968			
PRO-SHOP, CADDIE FACILITY & PARKING IMPROVEMENTS PROJECT			
200 TUCKAHOE ROAD, SOUTHAMPTON, NY 11968 SCTM NOS.: 0900-157.00-01.00-006.001 & 0900-157.00-02.00-001.000			
REVEGETATION PLAN			
		THE RAYNOR GROUP, P.E. & L.S. PLLC SURVEYORS CIVIL ENGINEERS SITE PLANNERS DEERFIELD GREEN WATER MILL, NY 11976 P.O. BOX 720 (831)726-7600	
DESIGNED BY: VAG	SCALE: 1" = 60'	DWG. NO.	
DRAWN BY: KK	DATE: 03/20/2020	C-5	
APPROVED BY: VAG	FILE NO.: 2347.04		

VINCENT A. GAUIDELLO
PROFESSIONAL ENGINEER NO. 073544

SANITARY SEWER DESIGN FLOW CALCULATIONS

1. CALCULATION METHOD (POPULATION DENSITY EQUIVALENT)

THE SUBJECT PROPERTY IS 186.5 ACRES IN SIZE, LOCATED WITHIN A HYDROGEOLOGIC GROUNDWATER MANAGEMENT ZONE IV AND IS SERVED BY PUBLIC WATER. THE GOLF COURSE AREA (TURF MAINTENANCE/FERTILIZATION AREA) AMOUNTS TO APPROXIMATELY 57.2 ACRES. IN ACCORDANCE WITH SUFFOLK COUNTY DEPARTMENT OF HEALTH SERVICES GENERAL GUIDANCE MEMORANDUM #17, AGRICULTURAL AND GOLF COURSE DENSITY, THE ADJUSTED LOT AREA MAY BE CALCULATED AS FOLLOWS:

TOTAL LOT AREA: 186.5 ACRES
 GOLF COURSE (TURF MAINTENANCE/FERTILIZATION AREA): 57.2 ACRES
 ADJUSTED LOT AREA: 129.3 ACRES

THE POPULATION DENSITY EQUIVALENT FOR THE SUBJECT PROPERTY MAY BE CALCULATED AS FOLLOWS:

POPULATION DENSITY EQUIVALENT = 129.3 ACRES X 600 GPD/ACRE = 77,580 GPD

2. PROJECT HISTORY:

THE PREVIOUS HEALTH DEPARTMENT REFERENCE NUMBERS (APPROVALS) FOR THE SUBJECT PROPERTY, EXISTING USES AND SANITARY SYSTEMS (OUTFALLS) ARE AS FOLLOWS:

PREVIOUS SCCHS REFERENCE NUMBERS	BUILDING(S)
C09-06-0008	STAFF HOUSING
C09-03-0013	CLUBHOUSE

3. EXISTING SANITARY FLOW:

A) STAFF HOUSING (TWO BUILDINGS)

USE	DENSITY LOAD	SANITARY FLOW RATE	KITCHEN/GRAY LOAD	KITCHEN/GRAY LOAD FLOW RATE	TOTAL HYDROLOGIC FLOW RATE
ROOMING HOUSE (10 BEDS)	75 GPD/BED	750 GPD	N/A	N/A	750 GPD
ROOMING HOUSE (10 BEDS)	75 GPD/BED	750 GPD	N/A	N/A	750 GPD
TOTALS	N/A	1,500 GPD	N/A	N/A	1,500 GPD

B) PUMP HOUSE

USE	DENSITY LOAD	SANITARY FLOW RATE	KITCHEN/GRAY LOAD	KITCHEN/GRAY LOAD FLOW RATE	TOTAL HYDROLOGIC FLOW RATE
GENERAL INDUSTRIAL (830 S.F.)	0.04 GPD/S.F.	33 GPD	N/A	N/A	33 GPD

C) MAINTENANCE BUILDING "A"

USE	DENSITY LOAD	SANITARY FLOW RATE	KITCHEN/GRAY LOAD	KITCHEN/GRAY LOAD FLOW RATE	TOTAL HYDROLOGIC FLOW RATE
GENERAL INDUSTRIAL (15,070 S.F.)	0.04 GPD/S.F.	483 GPD	N/A	N/A	483 GPD

D) MAINTENANCE BUILDING "B"

USE	DENSITY LOAD	SANITARY FLOW RATE	KITCHEN/GRAY LOAD	KITCHEN/GRAY LOAD FLOW RATE	TOTAL HYDROLOGIC FLOW RATE
GENERAL INDUSTRIAL (6,070 S.F.)	0.04 GPD/S.F.	243 GPD	N/A	N/A	243 GPD

E) CLUBHOUSE

USE	DENSITY LOAD	SANITARY FLOW RATE	KITCHEN/GRAY LOAD	KITCHEN/GRAY LOAD FLOW RATE	TOTAL HYDROLOGIC FLOW RATE
BAR (32 SEATS)	10 GPD/SEAT	320 GPD	5 GPD/SEAT	160 GPD	480 GPD
RESTAURANT (182 SEATS)	10 GPD/SEAT	1,820 GPD	20 GPD/SEAT	3,640 GPD	5,460 GPD
OUTSIDE PATIO DINING (46 SEATS)	5 GPD/SEAT	230 GPD	10 GPD/SEAT	460 GPD	690 GPD
SF/FITNESS CENTER/KARATE/DANCE/ETC. (4,070 S.F.)	0.1 GPD/S.F.	408 GPD	0.2 GPD/S.F.	815 GPD	1,223 GPD
LOBBY (1,541 S.F.)	0.04 GPD/S.F.	62 GPD	N/A	N/A	62 GPD
NON-MEDICAL OFFICE (3,330 S.F.)	0.06 GPD/S.F.	200 GPD	N/A	N/A	200 GPD
TOTALS	N/A	3,040 GPD	N/A	5,075 GPD	8,115 GPD

F) PRO SHOP

USE	DENSITY LOAD	SANITARY FLOW RATE	KITCHEN/GRAY LOAD	KITCHEN/GRAY LOAD FLOW RATE	TOTAL HYDROLOGIC FLOW RATE
RETAIL-DRY STORE (1,630 S.F.)	0.03 GPD/S.F.	49 GPD	N/A	N/A	49 GPD

F) SUMMARY - TOTAL EXISTING SANITARY FLOW

BUILDINGS	SANITARY FLOW RATE	KITCHEN/GRAY LOAD FLOW RATE	TOTAL HYDROLOGIC FLOW RATE
STAFF HOUSING	1,500 GPD	N/A	1,500 GPD
PUMP HOUSE	33 GPD	N/A	33 GPD
MAINTENANCE BLDG "A"	483 GPD	N/A	483 GPD
MAINTENANCE BLDG "B"	243 GPD	N/A	243 GPD
CLUBHOUSE	3,040 GPD	5,075 GPD	8,115 GPD
PRO SHOP	49 GPD	N/A	49 GPD
TOTALS	5,348 GPD	5,075 GPD	10,423 GPD

4. PROPOSED DESIGN FLOW CALCULATIONS:

BASED ON THE CURRENT DESIGN STANDARDS OF THE SUFFOLK COUNTY SANITARY CODE AND THE PROPOSED BUILDING USES, THE FOLLOWING IS A BREAKDOWN OF THE PROPOSED DESIGN SEWAGE FLOW RATES:

A) PRO SHOP:

USE	DENSITY LOAD	SANITARY FLOW RATE	KITCHEN/GRAY LOAD	KITCHEN/GRAY LOAD FLOW RATE	TOTAL HYDROLOGIC FLOW RATE
RETAIL-DRY STORE (1,307 S.F.)	0.03 GPD/S.F.	39 GPD	N/A	N/A	39 GPD
NON-MEDICAL OFFICE (738 S.F.)	0.06 GPD/S.F.	44 GPD	N/A	N/A	44 GPD
PUBLIC STORAGE (400 S.F.)	0.04 GPD/S.F.	16 GPD	N/A	N/A	16 GPD
FITNESS CENTER W/O SHOWERS (LOCKERS-112 S.F.)	0.1 GPD/S.F.	11 GPD	N/A	N/A	11 GPD
TOTALS	N/A	110 GPD	N/A	N/A	110 GPD

B) CADDY BUILDING

USE	DENSITY LOAD	SANITARY FLOW RATE	KITCHEN/GRAY LOAD	KITCHEN/GRAY LOAD FLOW RATE	TOTAL HYDROLOGIC FLOW RATE
FITNESS CENTER W/O SHOWERS (LOCKERS-187 S.F.)	0.1 GPD/S.F.	17 GPD	N/A	N/A	17 GPD
PUBLIC STORAGE (621 S.F.)	0.04 GPD/S.F.	25 GPD	N/A	N/A	25 GPD
TOTALS	N/A	42 GPD	N/A	N/A	42 GPD

4. TOTAL SANITARY FLOW CALCULATIONS:

EXISTING SANITARY FLOW TO REMAIN:
 STAFF HOUSING = 1,500 GPD
 PUMP HOUSE = 33 GPD
 MAINTENANCE BUILDING "A" = 483 GPD
 MAINTENANCE BUILDING "B" = 243 GPD
 CLUBHOUSE = 8,115 GPD
 TOTAL = 10,374 GPD

PROPOSED SANITARY FLOW:

PRO SHOP = 110 GPD
 CADDY BUILDING = 42 GPD
 TOTAL = 152 GPD

TOTAL PROPOSED SANITARY FLOW = 10,526 GPD

6. SIZE OF SEWAGE DISPOSAL SYSTEM (SCDHS DESIGN STANDARDS):

A) PRO SHOP

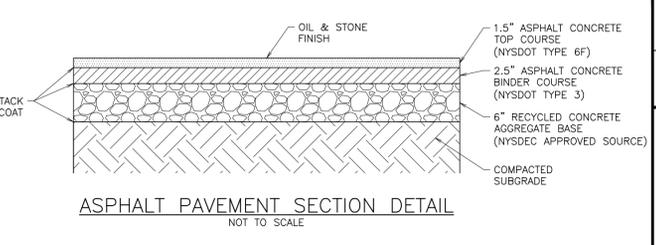
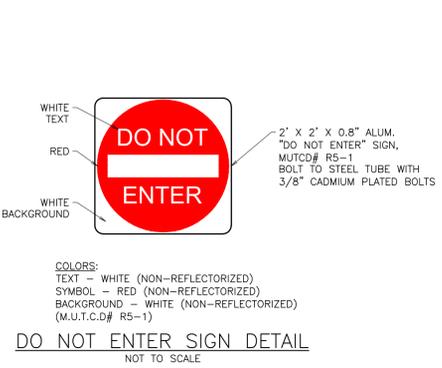
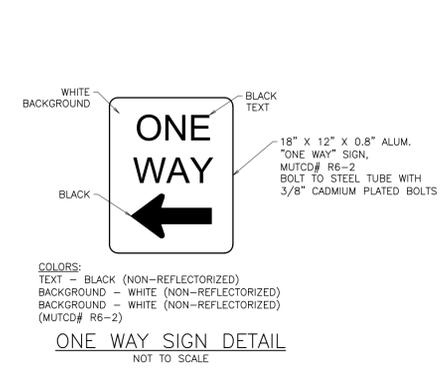
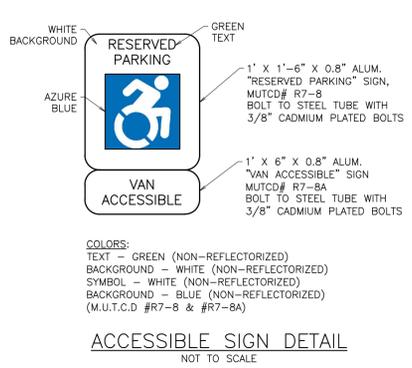
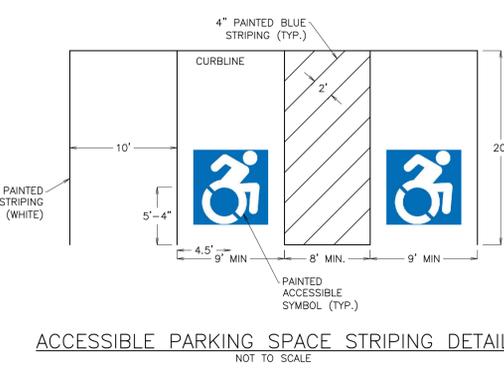
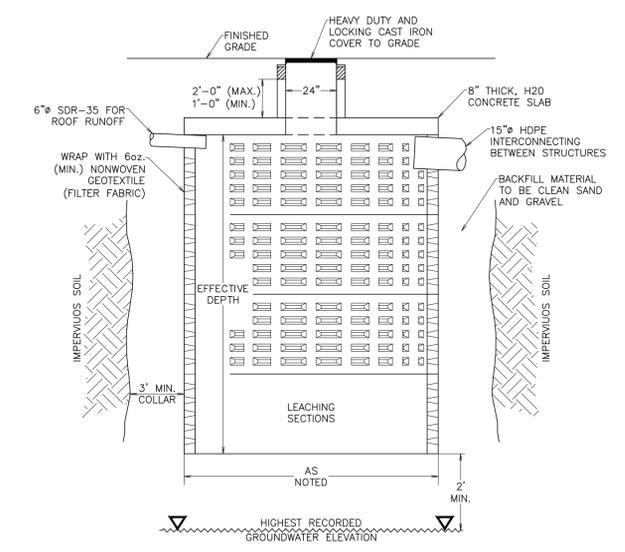
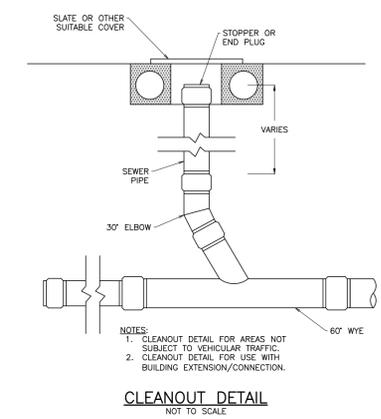
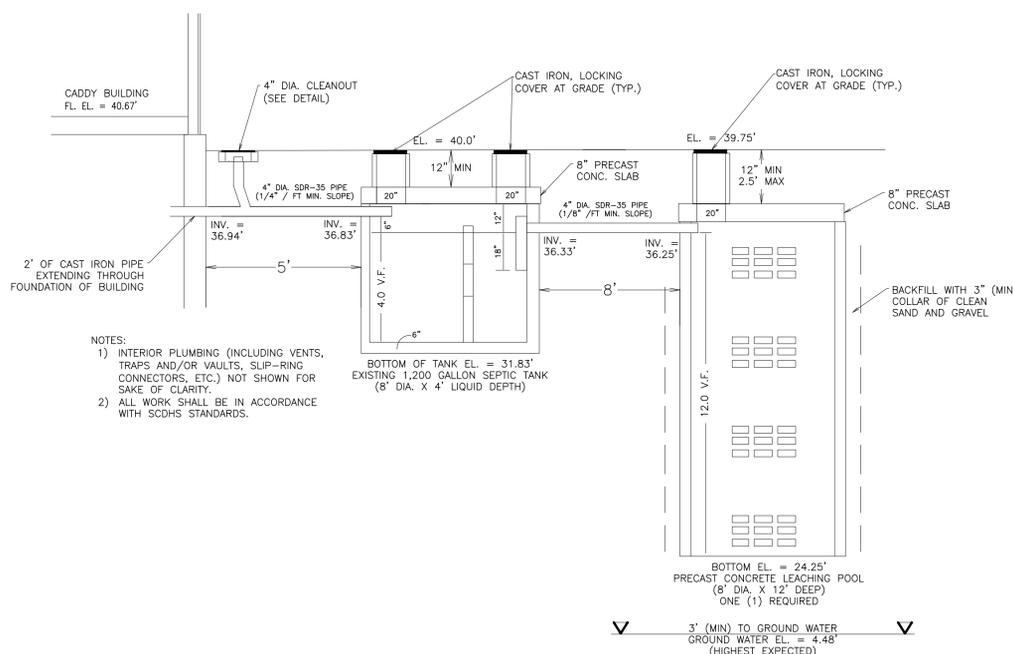
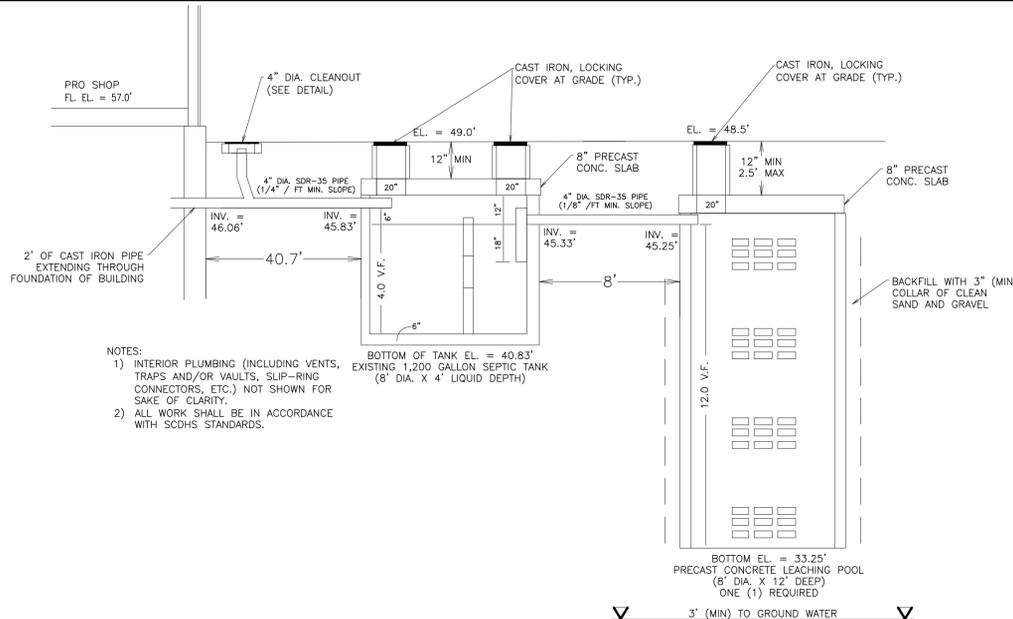
SEPTIC TANK - THE SEPTIC TANK IS REQUIRED TO PROVIDE A MINIMUM VOLUME CAPACITY FOR A TWO (2) DAY DESIGN FLOW COMPUTED AS FOLLOWS:
 110 GPD X 2 DAYS = 220 GALLONS, USE (1) 8' DIA. X 4' DEEP SEPTIC TANK (1,200 GALLONS)

LEACHING POOLS - THE MINIMUM QUANTITY AND SIZE OF THE LEACHING POOLS REQUIRED IS BASED ON THE TOTAL DESIGN FLOW AND A WEIGHTED SIDEWALL LEACHING AREA RATE OF 1.5 GALLONS/SF.
 THEREFORE: 110 GPD / 1.5 GALLONS/SF = 73.3 S.F., USE 300 S.F. (MIN.)
 REQUIRED: 300 SF / 25.1 SF/VF = 11.95 VF
 PROVIDE: ONE (1) - 8' DIA. X 12' DEEP LEACHING POOL

B) CADDY BUILDING

SEPTIC TANK - THE SEPTIC TANK IS REQUIRED TO PROVIDE A MINIMUM VOLUME CAPACITY FOR A TWO (2) DAY DESIGN FLOW COMPUTED AS FOLLOWS:
 42 GPD X 2 DAYS = 84 GALLONS, USE (1) 8' DIA. X 4' DEEP SEPTIC TANK (1,200 GALLONS)

LEACHING POOLS - THE MINIMUM QUANTITY AND SIZE OF THE LEACHING POOLS REQUIRED IS BASED ON THE TOTAL DESIGN FLOW AND A WEIGHTED SIDEWALL LEACHING AREA RATE OF 1.5 GALLONS/SF.
 THEREFORE: 42 GPD / 1.5 GALLONS/SF = 28.0 S.F., USE 300 S.F. (MIN.)
 REQUIRED: 300 SF / 25.1 SF/VF = 11.95 VF
 PROVIDE: ONE (1) - 8' DIA. X 12' DEEP LEACHING POOL



DATE	BY	DESCRIPTION	APPRVD
SHINNECOCK HILLS GOLF CLUB 200 TUCKAHOE ROAD, SOUTHAMPTON, NY 11968			
PRO-SHOP, CADDIE FACILITY & PARKING IMPROVEMENTS PROJECT 200 TUCKAHOE ROAD, SOUTHAMPTON, NY 11968 SCTM NOS.: 0900-157.00-01.00-006.001 & 0900-157.00-02.00-001.000			
SANITARY NOTES & CONSTRUCTION DETAILS			
THE RAYNOR GROUP, P.E. & L.S. PLLC SURVEYORS CIVIL ENGINEERS SITE PLANNERS DEERFIELD GREEN WATER MILL, NY 11976 P.O. BOX 720 (631)226-7600			
DESIGNED BY: VAG	SCALE: AS NOTED	DWG. NO. C-6	
DRAWN BY: KK	DATE: 03/20/2020		
APPROVED BY: VAG	FILE NO.: 2347.04		