



BRIDGEHAMPTON'S HISTORIC HAMLET

review and design guidelines





Hildreth & Hand Dry Goods Store and Post Office (c.1890)

This publication was produced by the Southampton Town Historian's Office © 2023

Town Clerk's Historic Division

Town of Southampton

116 Hampton Road

Southampton, N.Y. 11968

TABLE OF CONTENTS:

ESTABLISHING BRIDGEHAMPTON’S MAIN STREET HISTORIC DISTRICT 1

Introduction.....	2
Why does historic preservation matter?	4
History of Bridgehampton - Timeline.....	7
Overview of Main Street Properties.....	13
Proposed Historic District– Aerial Map.....	14
Proposed Historic District— Base Map.....	15

DESIGN GUIDELINES FOR HISTORIC DISTRICTS 22

Intentions.....	23
Purpose	24
Secretary of the Interior’s Standards for Rehabilitation	25
All Alterations.....	26
New Construction.....	27
Additions to Historic Resources.....	28

STANDARDS 29

Size and Scale.....	29
Proportion.....	30
Form and Massing.....	31
Orientation.....	32

Rhythm and Patterns.....	33
Window and Door Openings.....	34
Architectural Details.....	35
Materials and Textures.....	36
Streetscapes.....	37
Secondary Buildings and Structures.....	38
Demolition of Accessory Buildings.....	40
New Accessory Buildings and Structures.....	41
Building Relocation.....	42
Demolition	43
Archaeological Resources and Excavation.....	45

HISTORIC DISTRICT PROPERTIES INVENTORY 46

Criteria for landmark/contributing resource designation	47
Main Street Inventory, South Side.....	48
Main Street Inventory, North Side.....	60
Off Main Street Inventory.....	75

APPENDIX 78

Historic Map & Image Resources.....	79
References & Resources.....	86
Acknowledgements.....	90

establishing bridgehampton's main street historic district



MONTAUK HIGHWAY, BRIDGEHAMPTON, L. I.

Postcard image of Main Street, 1920s

Introduction

The Importance of Establishing a Historic District in Bridgehampton

We've seen it time and time again, the destruction of historic houses and commercial structures of significance for a quick profit or development in the name of progress. Too often village or hamlet cores are not sufficiently protected from demolitions or simple alterations that can eliminate history.

Southampton Town, the oldest incorporated town in New York State, is by no means immune from these trends, but it has taken steps to better protect its historic resources. The strongest form of protection is a local historic district created through a local bylaw or ordinance in which, before any exterior architectural feature visible from a street or walkway is altered, the plans to carry out that alteration must first be approved by the Town's Landmarks and Historic Districts Board (LHDB). In this way, needless demolitions and alterations can be permanently prevented.





Aerial view of Bridgehampton, west to east, 1949.

Recognizing the value of local historic districts, and that without them Southampton would be a very different place, to date seven such districts have been established in the town: Quogue Village, Sag Harbor Village, Sagaponack Main Street, and Southampton Village, as well as, within Southampton Village, North Main Street, Wickapogue Road, and Beach Road.

Recent preservation initiatives by the Town include several in Bridgehampton, among them the restoration of the Nathaniel Rogers House and the purchase of the Bridgehampton Community House, the preservation of the Triangular Commons, as well as private efforts involving the Topping Rose House and the Bridgehampton Inn.

The creation of the Town's Landmarks and Historic Districts Board (LHDB) has greatly contributed to the preservation of our irreplaceable historic resources by preventing inappropriate alterations, construction, and demolitions. The regulatory authority of the Historic Districts Board is one of the most effective methods of preservation in the Town, and one of the most challenging.

Why does historic preservation matter?

Historic districts bring civic pride to a place. When one property owner takes the time, makes the effort, and spends the money to improve a property, neighbors will follow suit, and this in turn will prevent unwanted or ill-fitting development in the area.



The Corwith Homestead, c. 1910.

QUALITY.

The quality of design, construction, and craftsmanship in historic buildings is superior. When it comes to the wood used, it tends to have come from mature trees, milled for stronger framing.



The Bridgehampton Inn, formerly the Corwith Homestead, 2020.

SUSTAINABILITY.

Historic districts are typically pedestrian-friendly. The neighborhoods are usually mixed use, with businesses and cultural opportunities nearby.



Basso's Restaurant, seen here around 1925, was opened a few years earlier by Frank and Celestina Basso. In 1969 it was bought by Bobby Van, a pianist and restaurateur, serving local writers like Willie Morris, James Jones, Truman Capote, and Irwin Shaw. Now home to World Pie, a restaurant and pub.



World Pie, 2022.

CONSERVING ENERGY.

Preservation reduces the need for new construction materials, thus avoiding the energy consumption, waste, and pollution from manufacturing and transportation. Preserving a historic building retains the energy expended to create and maintain it. If a structure is demolished, this energy investment is lost, and significant new energy demands are required to replace it. Preserving a historic structure is the ultimate in recycling.



Greek Revival-style Abraham Topping Rose House, c. 1890. Built c. 1840.

ECONOMIC BENEFITS.

Rehabilitating a historic structure can cost less than building a new one. What's more, more of that investment goes toward labor, not materials, helping to keep a local economy humming. In Bridgehampton's case, preserving its historic character helps its economy through increased tourism and higher property values.

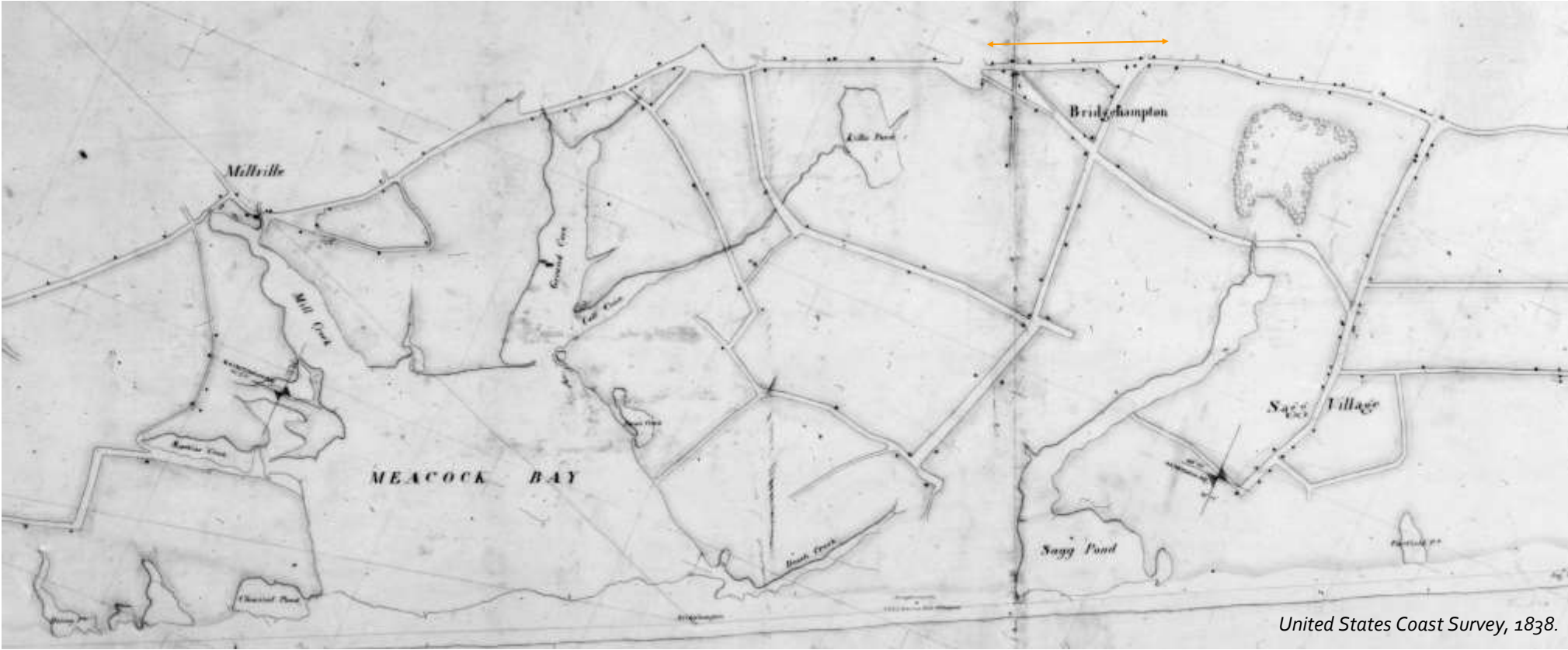


Topping Rose House, 2020.

CULTURAL HISTORY.

Bridgehampton's historic buildings, representing both the hamlet's past and its people, offer a unique sense of place that characterizes our community.

history of bridgehampton - 1656 to present



United States Coast Survey, 1838.

1656

Bridgehampton is a hamlet in the Town of Southampton, on the South Fork of eastern Long Island. It lies nestled between the villages of Southampton to the west and East Hampton to the east, with Sag Harbor to the north. To its south lies the vast Atlantic Ocean. The first English families arrived on the East End and settled the Southampton plantation in 1640. As the population grew, settlements of Mecox and Sagaponack were established eastward in 1656.



1660s-1680s

Bull's Head settlement

New road running east and west from Southampton to East Hampton led to creation of a settlement north of Mecox and Sagaponack.



1686

John Wick's Bull's Head Tavern built.
1st house built along Main Street establishing the new settlement of Bull's Head.

1690

Ezekiel Sanford, wheelwright, finishes building the bridge over Sagg Pond, linking the settlements of Mecox and Sagaponack.

1699

The use of the name "Bridge Hampton" did not appear until 1699, when the General Court recognized the bridge's significance of uniting the two early settlements.



Early 1700s

Whaling and farm community

Port of Sag Harbor opens, allowing shipment of whale oil and bone from whales harvested off Mecox.



1706

1st windmill built on the Triangular Commons.



Bridgehampton was an agrarian settlement, its residents content in the rhythms and patterns of an isolated, rural existence.



Bridgehampton hamlet center detail with business and home owners, Chace Map, 1858.

1820s-1860s

Development of large residences, boarding houses, religious institutions on Main Street

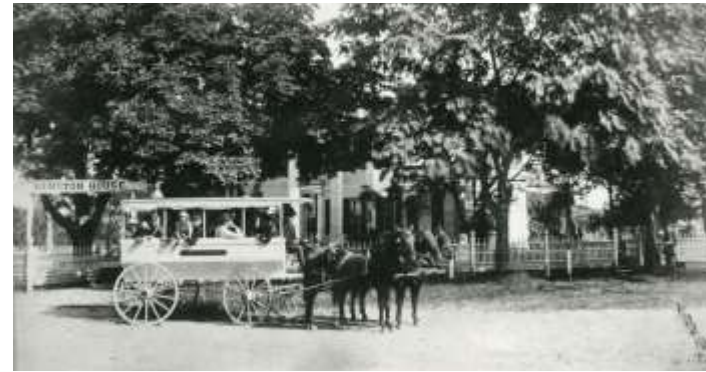
Methodist Church (1833)

Nathaniel Rogers House (1840)

Abraham Topping Rose House (1841)

Atlantic House Boarding House (1842)

Presbyterian Church (1842)



1880s-1900s

Heyday of the summer resort period

The Hampton House opens (1895)

Bridgehampton Golf Club opens (1901)



1870s

Arrival of the Long Island Rail Road

Establishes Bridgehampton as a summer resort.

36 homes were open to summer boarders (1877).

The Hampton Library built (1877).



1909

Founding of Bridgehampton National Bank, east wing, at right, in Loper's General Store.

The increase in summer population required increased services. More merchants were established, supplying dry goods, hardware, furnishings, and groceries, thus establishing Main Street, Bridgehampton.



1914-1921

Bridgehampton's Annual Firemen's Carnival held exhibition motor races on the hamlet's streets.



1910

Founders Monument unveiling, July 4, 1910, during the 250th anniversary celebration of the settlement of Bridgehampton .



1920S– 1930S

Bridgehampton Community House built (1923).

Bridgehampton School built (1931).



1938

Hurricane of 1938 devastates the eastern end of Long Island. Bridgehampton's Main Street suffers loss of buildings, storefronts, and trees.



1949-1953

Street racing resumes but the course is moved off Main Street.



1956

Bridgehampton celebrates its 300th anniversary.

The Bridgehampton Historical Society is chartered by the state and moves into the c. 1825 William Corwith House.



1969

The legendary watering hole Bobby Van's opens, serving locals and the literary set alike.



1970s to present

The Plaza East Shopping Plaza, now known as Bridgehampton Commons, built on land that was once a family farm and drive-in movie theater, continuing a century-long transition from an agrarian to a more diverse economy.

Town purchases the Nathaniel Rogers House and begins a complete restoration of the Greek Revival house (2003).

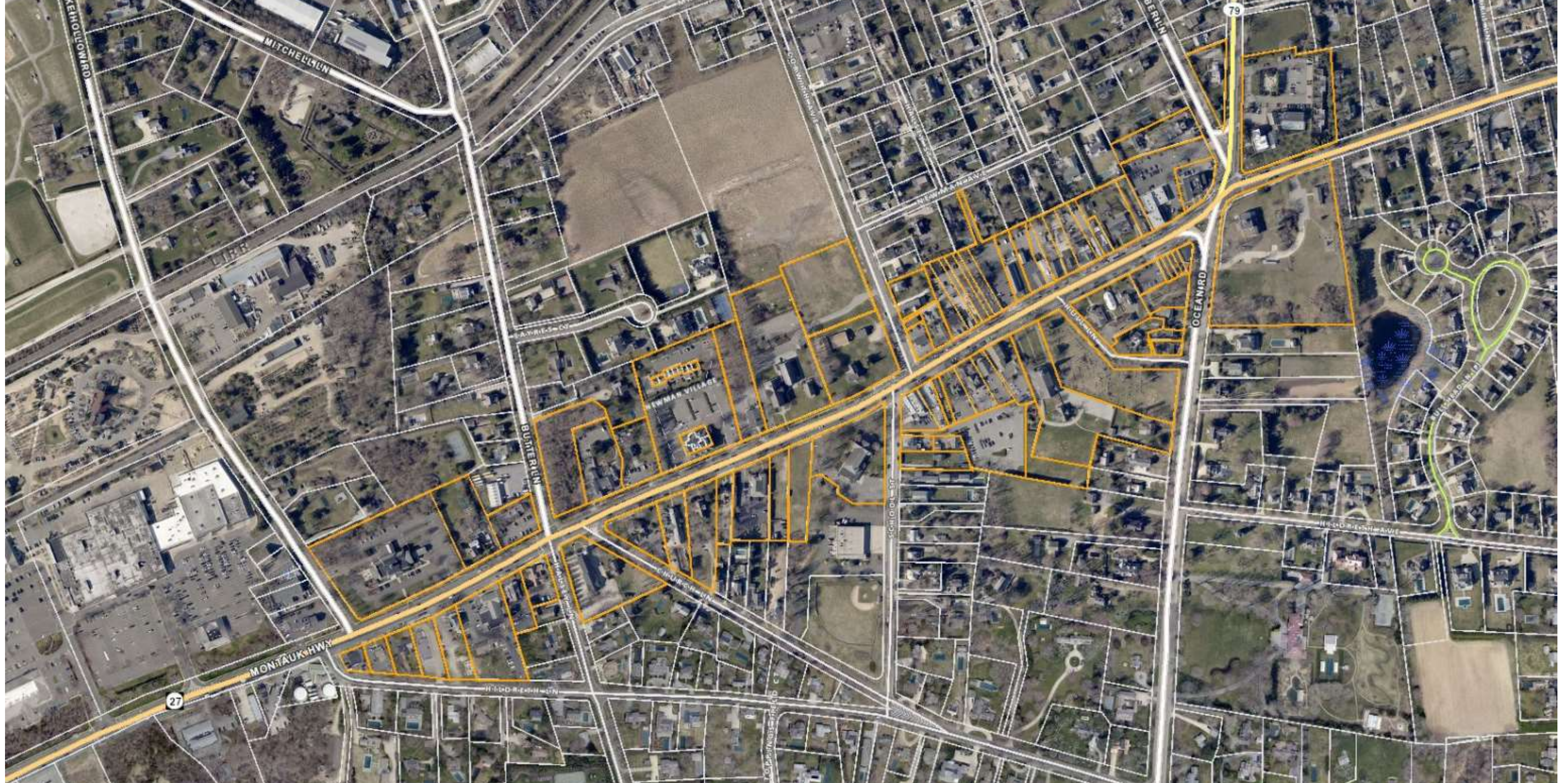
Hamlet revitalization project, 2020-2021.

bridgehampton's main street properties overview



1962 Aerial of Bridgehampton's Main Street with GIS Overlay.

proposed historic district— main street aerial map



proposed historic district— main street base map





1 Bridgehampton-Sag Harbor Turnpike.

Bridgehampton was founded in 1656, so naturally it is rich in history. And it was an agrarian society, so natural beauty was abundant. But this report is focused primarily on architecture, and therefore the appearance and character of the downtown core.



2539 Montauk Highway.

That core is appealing because it invites strolling along a Main Street with a small-town feel, where a number of the shops not only cater to the everyday needs of residents – there is a hardware store in the center of it – and many of those shops, plus a deli, restaurants, and its famous Candy Kitchen luncheonette, are owned by locals.

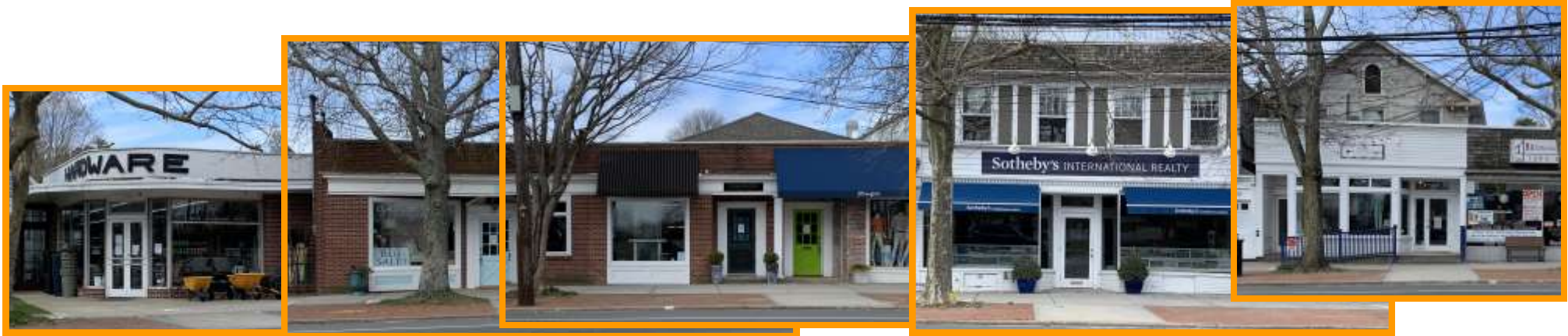


North side of Main Street, left to right, Nos. 2466, 2468, 2478, 2486, & 2488.

Of particular historical importance at the eastern gateway is the 1910 Founders Monument, on its small green at the center of the Bridgehampton-Sag Harbor Turnpike intersection, and tucked away to its south and west off Main Street, the Triangular Commons, a village green that was once a militia training ground, which dates to the 1670s, when the area was known as Bull's Head. By the early 1700s the settlement had a school, businesses, a stagecoach stop and tavern, and residences dotted along the main street.



South side of Main Street, left to right, 1 Ocean Rd., Nos. 2493, 2491, 2489 & 2487.



North side of Main Street, left to right, Nos. 2434, 2442, 2446 & 2450.

By the time the railroad arrived in 1870, Bridgehampton, the branch terminus for 25 years, saw rapid development downtown, but in keeping with the 18th century layout pattern. The charm of the hamlet's Main Street exists in the blending of its types of buildings, from civic and religious to businesses. On the north side, west to Corwith Avenue, the layout makes use of uniform setbacks and wood and brick structures that are attached or semi-attached. Some historic buildings have been altered to varying degrees with built-out storefronts.



South side of Main Street, left to right, No. 2463 Main St., 32 Hull Ln., 2429 & 2415 Main St.



North side of Main Street, left to right, Nos. 2402, 2408, 2414, 2418, 2422, 2424 & 2426.

The most prominent structures downtown date to the middle of the 19th century and show that era's outstanding architecture, like the Federal-style Bridgehampton Museum's William Corwith House, the Victorian 1876 Hampton Library, the Greek Revival Bridgehampton Inn, the Presbyterian and Methodist Churches, on up to the 1923 Classical Revival-style Community House. These buildings have been well maintained, to say nothing of the recent restorations of the Bull's Head Inn (Topping Rose House) and the Nathaniel Rogers House at the east end of Main Street.



South side of Main Street, left to right, Nos. 2405, 2397, 2395, and 2385.



North side of Main Street, left to right, Nos. 2350, 2368 & 2400.

What makes Bridgehampton's downtown unusual and worth preserving is its varied but complementary uses, from restaurants and retail, to a sizable civic center such as the Community House, to old churches with a cemetery dating to 1714 between them. Many of the commercial structures were once residences, built in a local tradition using shingles and clapboarding. It is rare that such a coastal community on Long Island has so much of its architectural past, from Victorian back to Greek Revival and Federal, still in existence.



South side of Main Street, left to right, Nos. 2357, 2309, & 2297.



North side of Main Street, left to right, Nos. 2214, 2266, & 2272.

For the purposes of this report, it is important to lay out what makes a building worthy of preservation: its placement on its lot and in the broader context of a street or area, the materials used, its architectural style, and how it has been altered over time. That way there is a better chance of saving it. The goal here is to establish a historic district in Bridgehampton that will allow for more effective conservation and better planning when changes have to be made.



South side of Main Street, left to right, Nos. 2273 and 2247.

design guidelines for historic districts



Design guidelines will:

- ◆ Increase public awareness of the value of historic architecture and the importance of preserving it.
- ◆ Help reinforce the character of Historic Main Street Bridgehampton and protect its overall appearance.
- ◆ Preserve the integrity of designated historic areas.
- ◆ Assist property owners and architects in making basic design decisions.
- ◆ Improve the quality of development.
- ◆ Protect the value of public and private investment.



Photo source: Bridgehampton Museum (1910)

D.L. Chester's store, in background, at the time of the Founders Monument unveiling, July 1910.



Now Almond Restaurant with the Founders Monument, 2020.

Purpose:

These guidelines have been prepared to assist Southampton Town Review Boards and property owners with information when considering design modifications to historic properties. They should complement consultation with qualified architects, contractors, and the Southampton Landmarks & Historic Districts Board (LHDB). The LHDB reviews demolition and construction permit applications that are submitted through the Town Building Department for structures built before 1941 or those that are recognized historic resources. In addition, the LHDB reviews and comments on subdivision applications and other proposed development when requested by the Town Planning Department or Zoning Board of Appeals. The applicant is responsible for complying with the provisions of the Zoning and Building Codes at the time of application. The applicant must obtain all necessary permits prior to proceeding with any work. For more information, or to obtain permit applications, please call the Building Department at (631) 287-5700. Early review of this information will assist in moving a project quickly through the approval processes.

The LHDB is available to potential applicants for preliminary consultation addressing design or material issues free of charge.

The guidelines are based on the *Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*.



These four one-story brick buildings, built by Kenneth Chester in 1928, are now home to L&W Market, Capelli Hair Salon, Churchill Wines & Spirits, and Helen Ficalora Jewelry. The contractor, Topping and Griffing, and stonemasons, Ruppel and Chester, were local.

The Chester stores were built on values and have grown on values. Courteous service and high grade merchandise have brought the firm a large clientele, extending all over eastern Long Island.

The County Review, (Riverhead, N.Y.) Sept. 13, 1928

the secretary of the interior's standards for rehabilitation

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

All Alterations

New construction is a sign of the economic health and vitality of a community and can take many forms, including:

- Additions to a historic or existing building
- New primary buildings
- New secondary structures such as garages, sheds, pool houses, guest houses, etc.
- New porches and decks

Although a demonstration of economic health, new construction can result in a dramatic change to the visual appearance and well-being of a community. Because of this, new construction and additions are encouraged to be designed to be compatible with the historic character of the district and the streetscape. In the case of demolition of all or part of a building or structure, applicants are encouraged to consider the historic value of the property to the streetscape, neighborhood, and district as a whole, and pursue alternative actions such as adaptive reuse, additions, or relocation instead.

Source: Village of Roslyn's Guidelines for Additions & New Construction (2007)



The Bridgehampton Community House, a large, Classical Revival style building with two-story height entry portico, was constructed c. 1921.



A favorite gathering place, the Candy Kitchen, built in 1925, serves up breakfasts, sandwiches, and homemade ice cream. It's a place where farmers and firefighters exchange early morning gossip, and Hampton Jitney passengers grab newspapers and coffee to go. Seen above in 1976, it was originally stand-alone, built of brick-stucco in a triangular plan. New 2-story brick construction to the east, below, is clearly contemporary in design but compatible in size and scale.



New Construction

New construction to a historic property or within a historic district can dramatically alter its appearance and that of the character of the surrounding community. Because of the historical sensitivity of the area, property owners should take great care when proposing new construction, understanding how contemporary design will be viewed within the streetscape and neighborhood context.

The following information is intended to provide the elements and principles of appropriate design to allow maximum creativity while also allowing plans for new construction to be assessed fairly, objectively, and consistently. They are intended to encourage the designer of new construction to consider existing historic properties as a starting point in the design process and not the final goal. In many cases, the most successful new buildings are those that are clearly contemporary in design but compatible with the character of neighboring properties. The experience of the community can be enriched by buildings that have merit in their own right and are sensitive to their setting and environment.

The LHDB encourages:

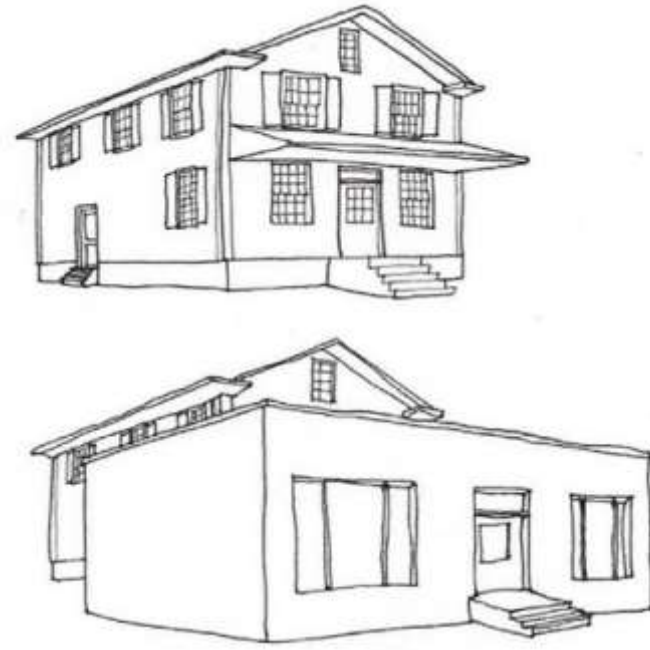
- Preservation of the character of the historic district with compatible, sympathetic, and contemporary construction.
- Compatible contemporary design reflective of the time that is not visually dominant or overwhelming.
- Coordinating setbacks with adjacent and nearby properties.
- Compatible siting, proportion, scale, form, materials, fenestration, roof configuration, details, and finishes to adjacent and nearby properties and the historic character of the district .

Additions to Historic Resources

The need for increased space is traditionally addressed by constructing additions to an existing building. Additions to existing historic buildings can provide increased space while maintaining the historic character of the original building and context.

In conformance with The Secretary of the Interior's Standards, an addition to a historic building should be subordinate to the principal historic structure and understood clearly as an addition visually. The subordinate appearance of an addition can be achieved through its placement, form, size, massing, materials, and details.

Contemporary design and additions to existing properties should not obscure, damage, or destroy significant architectural material, and should be compatible with the design of the property and the historic district. Whenever possible, additions should be constructed in a manner that, if removed in the future, the essential form and integrity of the historic building would be unimpaired.



An inappropriate addition can have a detrimental impact on the historic streetscape and district.

The LHDB encourages:

- Construction of additions on the rear or side elevations that are subordinate to the historic structure and compatible with the character of both the adjacent context and the historic district over all.
- Construction of additions so that the historic structure's fabric is not radically changed, obscured, damaged, or destroyed.

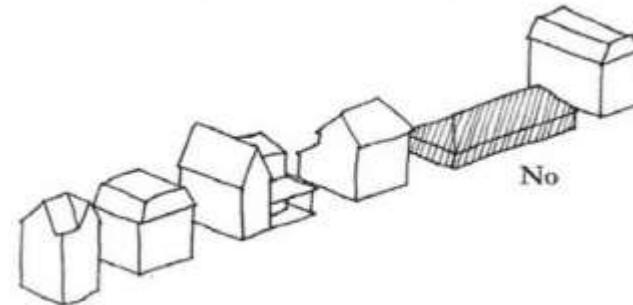
Standards

Size and Scale: New construction should reflect the dominant cornice and roof heights of adjacent buildings and the proportions of building elements to one another, to the streetscape, and to the district in general. In cases where the street does not have an obvious or dominant rhythm of cornice heights and window openings, the decision of the LHDB will be based on a consideration of the actual height and composition of major volumes of the proposed building within its context and relationally within the district.

In Bridgehampton there is an appealing yet harmoniously consistent variety of heights and scales of buildings. New buildings and additions that are not in keeping with Bridgehampton's overall scale will have a lasting and irreversibly negative effect on the district's historic character. If large scale construction is proposed, particular attention will be given to the location, siting, setbacks, façade treatments, and the effect of the proposed building(s) on the streetscape, neighborhood, and district as a whole. An addition should be smaller than the original building with similar floor-to-floor and first-floor heights.

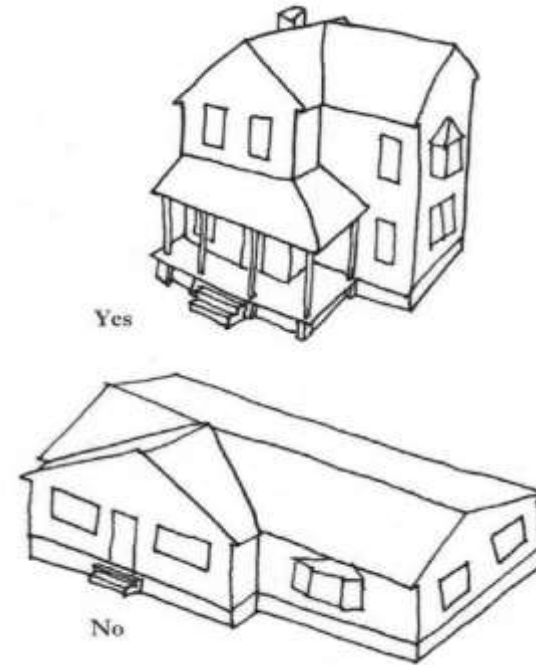


The addition to the left has a similar and appropriate scale, proportion, overall form, and window pattern as the existing building. The addition to the right is significantly larger than the existing building and is visually overwhelming and inappropriate.



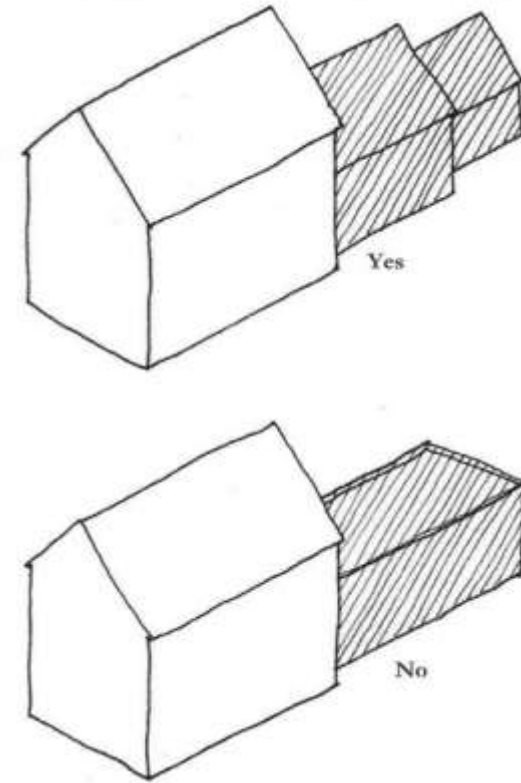
When several adjoining buildings in the same row are the same relative height and width, variation can be very obtrusive. The new building is significantly wider and lower than the adjoining buildings. The building size, scale, and proportions are inappropriate for the streetscape.

Proportion: New construction should relate to the dominant proportions of the buildings on the streetscape while new additions should relate to the dominant proportions of the existing structure(s). The proposed design should closely reflect the height and width ratios of the building proportions as well as that of doors, windows, porches, and storefronts.



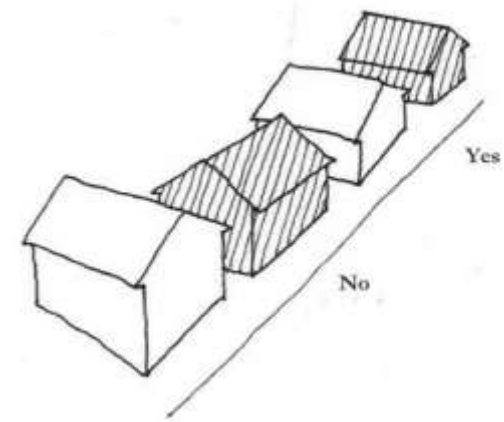
Although both of the proposed houses have intersecting gable roofs, the massing and proportions of the house below are significantly more horizontal in comparison to the historically styled house above, which is more vertically proportioned. Because of its horizontal massing, the house below would be inappropriate within the context of Bridgehampton's historic district.

Form and Massing: Form refers to the shape of major volumes of a building while massing refers to the overall composition of the major volumes of a building, particularly if there are major and minor elements. The facades of new construction should reflect the form of neighboring buildings, including the feeling of lightness or weight with similar proportions of solids (walls or siding) to voids (windows and door openings) and projecting porches, bays, and overhangs. The massing of additions should complement, but not necessarily match the original buildings. For example, a glass-enclosed sun porch might be a “lighter” variation of the original façade massing while a solidly infilled side porch might not be appropriate.

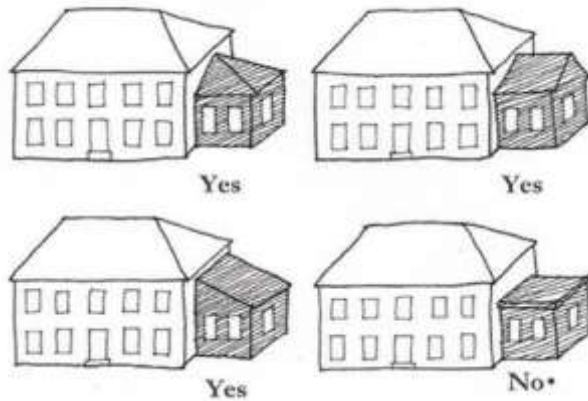


The upper example represents an appropriate composition with regard to form, mass, and proportions to the original gabled volume. The lower example with a flat roof is inappropriate due to the length and proportion of the addition, which competes visually with the original volume.

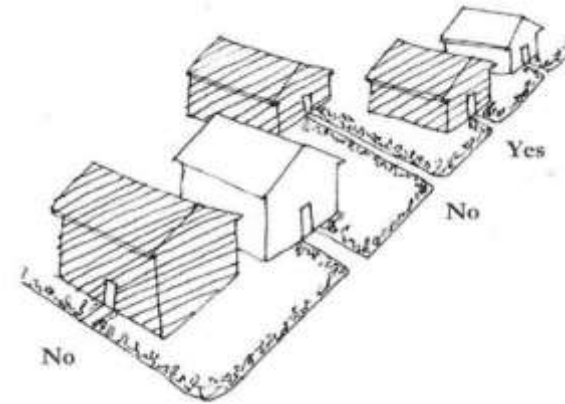
Orientation: The principal façade of new construction should be oriented in the same direction as the majority of the historic buildings on the street and in the surrounding area (in other words, not limited to nor only including the immediately adjacent properties, but considering as much of the general context as is appropriate). In the case of new construction on a corner site, the front façade should face the same direction as the existing buildings on the street and follow the rhythm of the streetscape. When adding to an existing building, the addition should be located, planned, and detailed so as not to confuse the dominant historic orientation of the original building. The addition should not have the effect of creating a new primary façade. The addition should not be visually dominant.



The orientation of the existing buildings has their gable facing the street. In cases where there is an overwhelming existing orientation, it is recommended that new buildings be similarly oriented and designed in order to maintain the architectural harmony of the streetscape and the district.



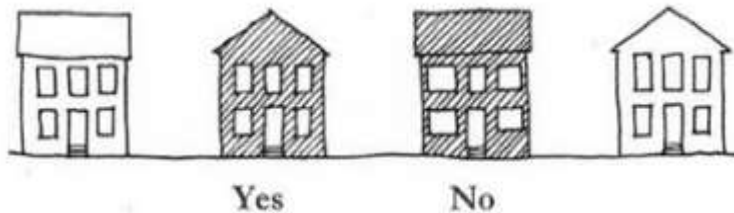
The size and placement of all four additions is similar but the roof forms vary. It is generally more appropriate to add a sloped roof addition to a historic building unless the resource originally had a flat-roof portion or a flat-roof wing is appropriate to its architectural style.



All of these buildings have the same form and orientation, but the setback of the middle building disrupts the rhythm of the streetscape and sets an inappropriate example for new construction within a historic streetscape/district.

Rhythm and Patterns: The rhythm and patterns of principal facades of new construction should reflect and maintain neighboring and nearby patterns. The rhythm and patterns of principal facades of an addition should reflect that of the original building.

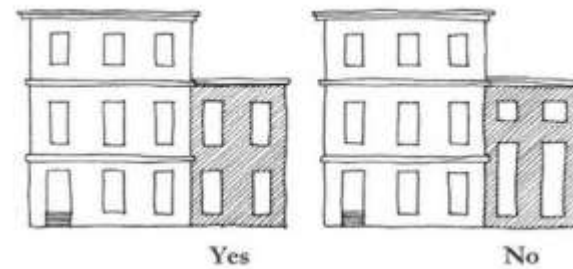
Rhythm and patterns across the width of a façade typically include the number of bays and the location and spacing between doors and windows. Vertical considerations for rhythm and patterns include floor-to-floor heights, first-floor height above the ground, cornice heights, and the vertical distance between rows of windows and windows and cornices. In some instances, where the proposed use for a new building prevents maintaining rhythms and patterns, the property owner is encouraged to incorporate detailing to suggest them.



The size, scale, form, and mass of the two new buildings is consistent with their neighboring buildings, but the new building on the right has window sizes and proportions that are inconsistent and therefore inappropriate.



Street-facing garage doors and oversized window expanses are inappropriate within a historic context and disrupt the rhythm and harmony of the streetscape.



The proportions of the windows in the left example are consistent with those found on the original building, unlike the right example. The left example is more appropriate within the historic context.

Window and Door Openings: For new construction, the size, shape, design, proportions, and placement of storefronts, windows, and door openings should be similar to those in the surrounding historic structures. For additions, the size, shape, design, proportions, spacing, and placement of windows and door openings in the addition should be similar to those in the existing building.

Windows should be functionally similar, such as double-hung windows, and have similar muntin or grid patterns and proportions as other historic structures within the neighborhood and district. Door designs should reflect the detailing and proportions of windows and other woodwork/paneling.

Source: Village of Roslyn's Guidelines for Additions & New Construction (2007)



Photo courtesy L. K. McLean Associates (2020)

Newly restored windows and historically accurate louvered shutters, and their iron hinges and holdbacks – beautiful architectural detail on display on the Greek Revival-style Nathaniel Rogers House.

Architectural Details: The character-defining features and details of the historic district's properties should be reflected in the design for new construction and additions. These details include but are not limited to roof forms, porches, porticos, cornices, moldings, arches, quoins, chimneys, projecting bays, and the shapes of windows and doors. In many instances these details can be simplified to provide compatibility without duplication.

Source: Village of Roslyn's Guidelines for Additions & New Construction (2007)



A two-story dwelling known as the Henry H. Chatfield House, c. 1897, is now a commercial building. It exhibits elements of the Craftsman and Queen Anne styles of architectural details.

Materials and Textures: New construction should use materials and textures in a manner that is sympathetic to the historic buildings found in Bridgehampton and in the community in which they will be located. Materials should be of a similar or complementary color, size, texture, scale, craftsmanship, and applicability to the function performed. Traditional materials common in the historic buildings of Bridgehampton such as wood, stone, brick, and stucco are recommended.

A sympathetic use of materials should not imply that materials used in new construction should duplicate the old in detail, nor that new construction attempt to duplicate historic structures. Rather, it is a matter of determining the compatibility of the new with the old. It is often appropriate to simplify details such as cornices and moldings. This gives the new building or addition a more contemporary appearance instead of that of a replica.

Although new additions can use materials similar to those used on the historic structure(s), there are times when this is not economically reasonable or practical. In these cases, it is appropriate to alter materials on additions as long as the material is of a subordinate character. This would include adding a wood clapboard or stucco addition to a stone or brick building; however, it is not appropriate to build a brick or stone addition onto a wood clapboard or shingle building.

Source: Village of Roslyn's Guidelines for Additions & New Construction (2007)

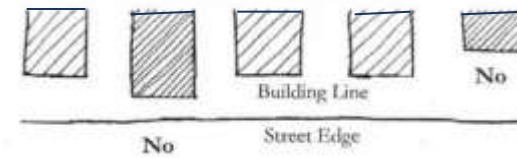


Photo Source: Bridgehampton Museum (c.1942)

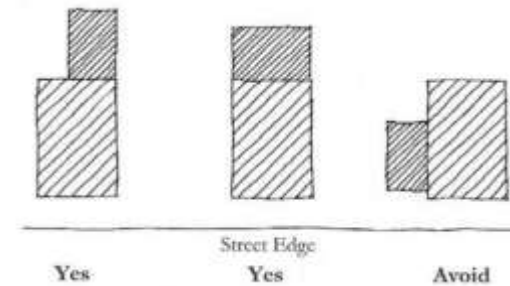
Built c. 1916, formerly the Great Atlantic & Pacific Tea Company, then DePetris Food Market (1940s), and now Sotheby's, this two-story four-bay building exhibits elements of both Neoclassical and Tudor Revival styles, with a dentilled cornice over the shopfront, and a half-timbered, stuccoed appearance on the upper story.

Streetscape: New construction should reflect prevailing setbacks and physical elements that define the historic structures on the street and within the district, including but not limited to stone walls, wood fences, building facades, or a combination of these elements, which form visual continuity and cohesiveness within the district.

Additions should be positioned to have the least visible impact from the street, with additions to the side of main volumes strongly discouraged and rear additions generally most appropriate. Additions at side elevations may be appropriate if set back as far as possible from the front façade and designed with an obvious subordinate character.



New construction should not step forward from nor recede back from adjacent buildings on the streetscape.



The visibility of the left and middle additions would be limited from the street. The addition on the right is much more visible from the street and should be avoided.

Secondary Buildings and Structures

Many properties in Bridgehampton include more than one structure. In most cases, secondary/accessory buildings, structures, and landscape features are also present and contribute significantly to the character of the property, setting, and district. Accessory buildings and structures include but are not limited to barns, carriage houses, garages, farm-related buildings, outhouses, gatehouses, garden follies, studios, and stables.

Accessory buildings and structures can contribute significantly to our understanding of Bridgehampton's history and architectural evolution. Although some of Bridgehampton's accessory structures were designed to be utilitarian, in many cases those associated with residences were designed and constructed to match, reflect, and complement the property's primary structure. These similarities can include similar overall form, materials, and detailing.

Source: Village of Roslyn's Guidelines for Additions & New Construction (2007)



Photo source: Southampton Town.

This contributing former carriage house of Dr. Edgar B. Mulford at 24 Lumber Lane has successfully been converted into additional accessory habitable area.



Photo source: Bridgehampton Museum (c.1905)

The carriage house on the property was first used as a stable for Dr. Mulford's horse and carriage and later housed his Stanley Steamer. It is said that Dr. Mulford, above, did not lose a single patient during the Spanish Flu pandemic of 1918-1919, warning folks not to travel.

An accessory building or structure is significant if it was:

- Constructed at the same time as the property's principal structure, or soon after.
- Constructed after the principal building but used for a significant purpose.
- Represents an important architectural design or construction method.
- Associated with an important event or person related to the property (or an adjacent property).
- Built incorporating distinctive characteristics of form, style, materials, or detailing, or shares those characteristics with other buildings on the property.

Source: Village of Roslyn's Guidelines for Additions & New Construction (2007)



Photo Source: Southampton Town

The carefully restored Topping Rose House Barn, c. 1840, is vestige of the original property, now a repurposed space for entertaining.

The following guidelines are recommended when addressing historically significant secondary buildings and structures.

The LHDB encourages:

- Maintaining historic accessory buildings as carefully as principal buildings.
- Maintaining significant and unique details of accessory buildings including cupolas, barn doors, moldings, fencing, uniquely shaped windows, stained glass, etc.
- Functionally adapting obsolete buildings for new uses such as converting a carriage house into a studio or guest house.

The LHDB discourages:

- Demolition of significant secondary buildings and structures.

Demolition of Accessory Buildings

Demolition or removal of historic accessory structures is strongly discouraged because of their important historic, cultural, and aesthetic value to the district as a whole, the narrative history they contribute, and the general deterioration and lack of survival of original accessory structures to date. While the specific original function of a historic accessory structure may be obsolete today, the structures can be adaptively reused for another purpose. Before considering demolition, it is recommended that alternative uses that maintain the historic character of the structure and its presence on the site be explored. Carriage houses have been successfully converted into garages, and outhouses have been easily adapted into garden sheds. In the case of accessory structures that are not considered historically significant or contributing to the historic significance of their associated property or district, or even when they negatively impact the historic character of their property and/or district, demolition or relocation can be appropriately considered.

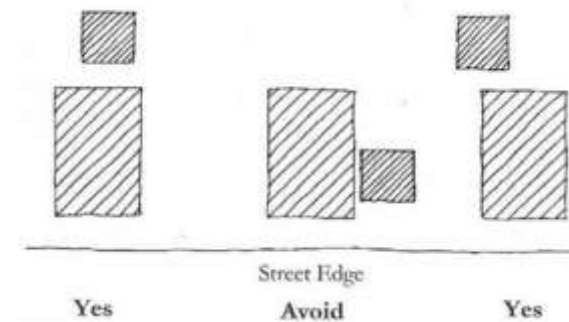
Source: Village of Roslyn's Guidelines for Additions & New Construction (2007)

The LHDB encourages:

- Ensuring that demolition will not damage other parts of the historic structure, site, neighboring buildings, or landscape features.
- Documenting the accessory building or structure with photographs and/or drawings prior to demolition.
- Considering reuse of salvageable materials such as windows, doors, hardware, shutters, bricks, or siding for other buildings or structures on the property or other projects, preventing disposal of original materials.

New Accessory Buildings and Structures

New accessory buildings and structures should be subordinate to and visually compatible with the principal structure on the property without compromising historic character. Ideally, accessory structures and buildings should be located so that they are not the primary object in view from the street.



The visibility of the accessory structures on the right and left is preferable as they are less visible from the street.

The LHDB encourages:

- Adaptively reusing functionally obsolete buildings for new uses, such as converting a carriage house into a garage rather than constructing new buildings.
- Locating accessory buildings and structures in the rear and side yards and away from the principal structure and its main entrance.
- Designing accessory buildings and structures to coordinate with and complement the principal building on the property, using similar forms, materials, and detailing.
- Construction of new accessory buildings and structures in a manner that does not damage other resources on the site.

Building Relocation

It is always preferable for a historic structure to remain in its original location. There are, however, sometimes circumstances when that is not feasible or practical (e.g., buildings located within a flood plain or in a location that will be disturbed by a major infrastructure project). The Town of Southampton has a long history of relocating buildings to save them from demolition.

When it has been determined that maintaining a historic structure in its original location is not feasible or practical and all other alternatives have been explored and exhausted, relocation can be considered. It is important to remember that historic structures can be best understood and appreciated within an appropriate setting; duplication of the major elements of that historic setting should be considered.

Source: Village of Roslyn's Guidelines for Additions & New Construction (2007)

The LHDB encourages:

- Selecting a site with similar characteristics as the original site, including elevation changes and major landscape features.
- Locating the building in a similar setting as the original site, including orientation and distance from the street, proximity to trees, and other landscape features.
- Relocating related resources and landscape features such as accessory buildings and structures, stone walls, wood fences, etc., to the new site to maintain original relationships.

The LHDB discourages:

- Alteration of the historic spatial relationship between the relocated building and its surrounding historic features.



The Strong Wheelwright Shop, c. 1870, is located on the William Corwith House site. It was relocated from the Strong Farm on the corner of Town Line Road and Parsonage Lane in Sagaponack and donated to the Historical Society in 1962, forever preserving its history.

Demolition

Demolition of an existing historic structure is a drastic and irreversible action with negative impacts far beyond the immediately associated site. The demolition of historic buildings alters the character of the streetscape, the surrounding context, and the historic district as a whole.

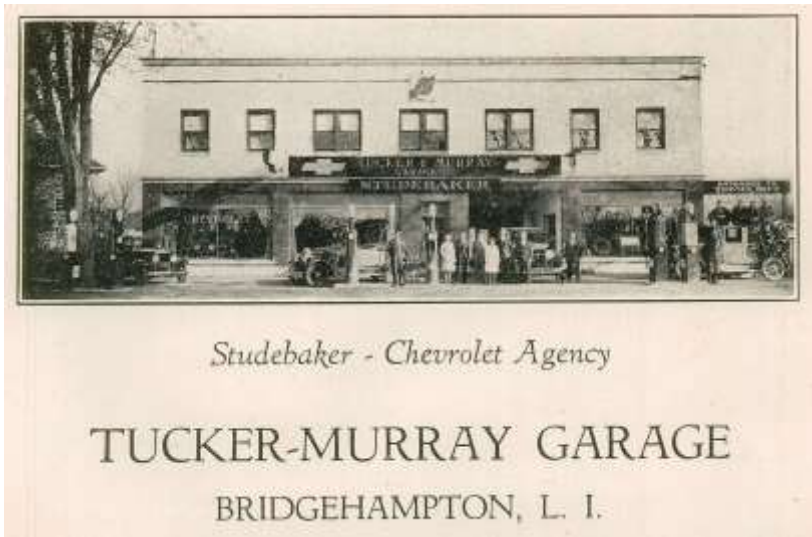
Once contributing historic resources are destroyed, they cannot be replaced. This can result in a lost educational resource for the community, whether the building was an example of a past architectural style or construction technique, or had associations with significant persons or an event in our history. Demolition is therefore rarely considered to be an appropriate action.

Source: Village of Roslyn's Guidelines for Additions & New Construction (2007)



Photo Source: Bridgehampton Museum (1910)

Wick's Tavern, built in 1686 on the northwest corner of Lumber Lane and Montauk Highway, was the first building on Main Street. Sadly, it was torn down in 1939, erasing a significant portion of the hamlet's history.



More recently known as the Pulver Gas Company Building, the former Tucker-Murray Garage and Studebaker–Chevrolet Agency, was built c. 1910 and torn down in 2016.

Image: The Hamptons Pictorial, July 17, 1929.

The LHDB encourages:

- An evaluation of the significance of the historic resource proposed for demolition by the LHDB or other qualified person or agency.
- All attempts to reuse a historic building be exhausted before considering demolition.

If reuse of the historic resource in its original location is not practical and/or feasible, the LHDB encourages:

- Relocation of the historic building proposed for demolition to an appropriate location within the historic district that provides a comparable setting and context to the original location.

The LHDB discourages demolition unless:

- The proposed demolition involves a non-contributing addition or portion of a historic building, and the demolition will not adversely affect the portions of the principal structure that are historically significant.
- The proposed demolition involves a non-contributing building on a historic site and will not adversely affect any other part of the property.
- Public safety requires the removal of the historic structure because it is deteriorated beyond repair, in danger of collapse, and cannot be stabilized.
- The structural instability of the building has been documented by the report of a qualified structural engineer or architect and appropriate documentation of the resource has been completed.

If demolition is determined to be the only alternative, it is recommended that it be conducted as sensitively as possible.

The LHDB encourages:

- Ensuring that demolition will not damage parts of the historic building, property, or neighboring buildings.
- Documenting the building with photographs and/or drawings prior to demolition.
- Considering the donation of salvageable interior and exterior materials such as windows, doors, hardware, shutters, bricks, siding, beams, woodwork, flooring, and tiles.

Archaeological Resources and Excavation

The Landmarks and Historic Districts Board recommends that property owners consider below-grade areas to potentially contain other culturally valuable historic resources. Once a site has been disturbed, the opportunity to discover potential historic resources can be lost forever.

When any work is done on a property containing a historic resource that will require substantial excavation where none or little has previously been done, there is the potential to uncover important archaeological resources. Many of Bridgehampton's oldest buildings may contain or be surrounded by these valuable resources. It is recommended that owners leave their properties undisturbed until those properties can be professionally evaluated and recorded. Additional information can be found by contacting the New York State Historic Preservation Office:

New York State Historic Preservation Office

P.O. Box 189

Waterford, New York 12188

(518) 268-2168

www.parks.ny.gov/shpo

bridgehampton main street historic district inventory





Looking at North side of Main Street, Atlantic & Pacific Food Market, c. 1930, now Sotheby's.


town criteria for landmark/contributing resource designation


- A. Possessing special character or historic or aesthetic interest of value as part of the cultural, political, economic, or social history of the locality, region, state, or nation.*
- B. Is identified with historic personages or is the site of an historic event in the Town, state, or nation.*
- C. Embodies the distinguishing characteristics of an architectural type, period, or style or contains elements of design, details, materials, or craftsmanship that represent a significant innovation.*
- D. Is the work of a designer, engineer, builder, artist, or architect whose work has significantly influenced an age.*
- E. Because of a unique location or singular physical characteristic, represents an established and familiar visual feature of the neighborhood.*


Main Street (Montauk Hwy) South Side, East to West:

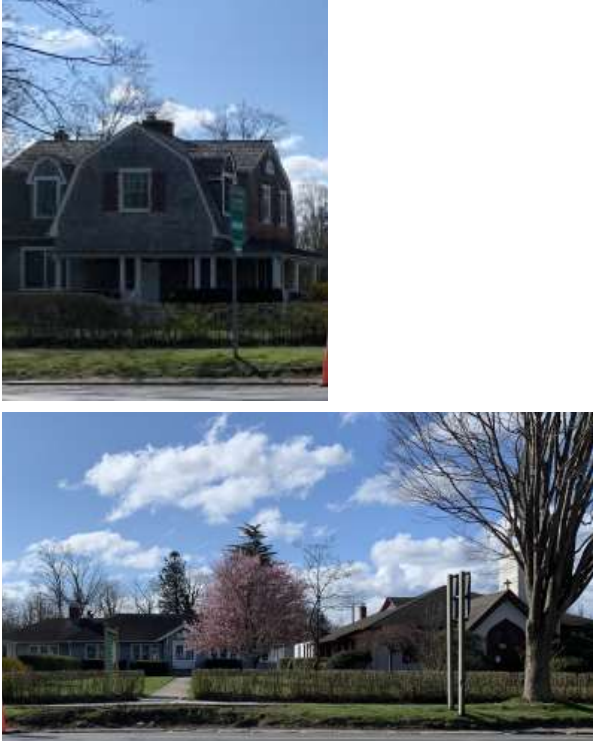
Property address & Tax Roll No.	Map references & Resource Criteria:	Photo:
<p>2539 Montauk Highway 900 - 88 - 1 - 1.1</p> <p>Nathaniel Rogers House/Hampton House/Hopping House, a Greek Revival-style mansion with Ionic colonnade, was constructed in 1839-1840 for Nathaniel Rogers, a famed miniature portrait artist. It was later run as the Hampton House (1895-1950), a first-class hotel and boarding house. The house is currently being stabilized and restored. Town Owned Property.</p>	<p>1823 (Fordham, Deed, Metes & Bounds) 1836 (A.T. Rose For Sale ad) 1858 (J. Huntting) 1873 (Capt. J. Huntting) 1894 (Hampton House) 1902 (Hampton House, John N. Hedges) 1916 (Hampton House)</p> <p>Town Contributing Resource, Yes. Town criteria: A, B, C, E. National Register of Historic Places, 2005.</p>	


Property address & Tax Roll No.	Map references & Resource Criteria:	Photo:
<p>Founders Monument</p> <p>The Bridgehampton Founders Monument, located at the intersection of Montauk Highway and Ocean Road, was erected in 1910 in commemoration of the founding of Bridgehampton and its inhabitants' roles in the American Revolution, the War of 1812, and the Civil War. (Later added, WWI, WWII, Korea, and Vietnam Wars.) The monument consists of a bronze eagle on a granite base that bears four inscribed bronze plaques. Barre Granite, 17' h, weight 25 tons.</p>	<p>Contributing resource: Yes. Town criteria: A, B, C, E.</p>	


Property address & Tax Roll No.	Map References and Resource Criteria:	Photo:
<p>2495 Montauk Highway 900 - 86 - 2 - 20</p> <p>Located at the corner of Montauk Highway at the main intersection of Bridgehampton, 1 Ocean Road was built as the D.L. Chester Dry Goods Store in 1907. It is a two-story brick building with a modified triangular plan. It has a flat roof, a chamfered entry bay, and a corbelled brick cornice. Its large main doorway is flanked by three quarter sidelights. It is surmounted by a paired window. The windows throughout the structure contain six-over-six and six-over-one-light double-hung sash. A restaurant now occupies the structure.</p>	<p>1916 (D.L. Chester)</p> <p>Contributing resource: Yes.</p> <p>Town Criteria: A, C, E.</p>	

Property address & Tax Roll No.	Map References and Resource Criteria:	Photo:
<p>2493 Montauk Highway 900 - 86 - 2 - 19</p>	<p>Contributing resource: Yes.</p> <p>Town Criteria: C, E.</p>	
<p>2491 Montauk Highway 900 - 86 - 2 - 18</p>		
<p>2489 Montauk Highway 900 - 86 - 2 - 17</p>		
<p>2487 Montauk Highway 900 - 86 - 2 - 16</p>		
<p>Built by Kenneth Chester, D.L. Chester's son, in 1928. Local contractors Topping and Griffing and stone masons Ruppel and Chester were hired to build the four one-story brick buildings.</p>		


Property address & Tax Roll No.	Map References and Resource Criteria:	Photo:
<p>2479 Montauk Hwy and 30 Ocean Rd. 900 - 86 - 2 - 15 & 900 - 86 - 2 -22.1</p> <p>Triangular Commons (30 Ocean Road): Site of Southampton Colonial Militia Training Ground Parking lot (2479 Montauk Hwy.): Site of the 2nd Methodist Church (1833-1870)</p> <p>Town Owned Property</p>	<p>Contributing resource: Yes.</p> <p>Town Criteria: A, B.</p>	


Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>2463 Montauk Highway 900 - 86 - 2 - 14.2</p> <p>Saint Ann's Episcopal Church, Rectory & Parish Hall</p> <p>Church Rectory c. 1899, a gambrel-roofed building which was moved from Sagaponack around 1911. The shingle-clad Colonial Revival-style dwelling was originally a private house.</p> <p>Parish house, constructed in 1915 through a donation from John Berwind, owner of the nearby estate Minden. The Craftsman-style building is clad in wood shingles and has a hipped roof with overhanging eaves. Two brick chimneys rise from the ends of the roof ridge. The windows contain eight-over-one-light sash.</p> <p>Saint Ann's Church, c. 1899, was the Sagaponack Golf Course Clubhouse. It was moved to Main Street c.1907. The church underwent extensive exterior renovation in 1915. The stucco-clad structure exhibits elements of the Mission and Spanish Colonial Revival styles. It has a hipped roof, a front-gable entry hyphen with a Moorish pointed arch, and an off-center steeple.</p>	<p>Rectory: 1902 (Deshler, Sagaponack) 1916 (Rectory)</p> <p>Parish Hall: 1916 (Hall)</p> <p>Church building: 1902 (Club House, Bridge Ln. Sagaponack) 1916 (Episcopal Church)</p> <p>Contributing: Yes.</p> <p>Town Criteria: A, B, C, E.</p>	


Property address & Tax Roll No.	Map References and Resource Criteria:	Photo:
<p>32 Hull Lane 900 - 86 - 2 - 27.1</p> <p>The Old Bridgehampton Cemetery is located immediately adjacent to the Bridgehampton Presbyterian Church, but is not linked to it.</p> <p>The cemetery was an independent burial ground since c. 1718 and the Church was built c. 1842. The cemetery is in good condition and retains many early gravestones.</p>	<p>1858 (Cemetery) 1873 (Cem.) 1894 (Cemetery) 1902 (Cemetery) 1916 (Cemetery)</p>	


Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>2429 Montauk Highway 900 - 86 - 2 - 57.5</p> <p>The Bridgehampton Presbyterian Church was constructed in 1842. It was most likely designed by Nathaniel Rogers, in the Greek Revival style. The clapboard-clad building features Ionic pilasters, pointed-arch windows, and the original spire. A porte-cochere on the east side, a porch on the north side, and a clock were late 19th century additions.</p> <p>This property includes the Presbyterian Manse, which is sometimes attributed an address at 84 Ocean Road, but which is located on the same parcel as the church at 2429 Montauk Highway. The Manse was designed by architect William Brady and built in 1925. The two-story five-bay Colonial Revival-style structure features a symmetrical façade, entry porch with Ionic columns, central doorway with sidelights, and six-over-six-light windows.</p>	<p>1858 (Presbyterian Church) 1873 (Church) 1894 (Pres. Ch.) 1902 (Pres. Church) 1916 (Pres. Church)</p> <p>Town Contributing Resource, Yes. Town criteria: A, B, C, E. National Register of Historic Places, 2018.</p> <p>Manse: Contributing resource: Yes. Town Criteria: A, C</p>	


Property address & Tax Roll No.	Map References and Resource Criteria:	Photo:
2425 Montauk Highway 900 - 86 - 2 - 31.1 Presbyterian Church Society - Vacant.	Contributing resource: No.	


Property address & Tax Roll No.	Map References and Resource Criteria:	Photo:
2415 Montauk Highway 900 - 86 - 2 - 57.6 Former James A. Sandford & Sons' Plumbing & Heating built in 1911. Site of the start and finish line of the 1914-1921 historic Bridgehampton Automobile Road Races.	1916 (Sandford) Contributing resource: Yes. Town Criteria: A, B, C., E	


Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
2411 Montauk Highway 900 - 86 - 2 - 5.0 Built in 2009 replacing 19 th c. house. Non-contributing.	Contributing resource: No.	


Property address & Tax Roll No.	Map References and Resource Criteria:	Photo:
2405 Montauk Highway 900 - 86 - 2 - 4 Sandford (Boarding) House, c. 1890. Original house is behind the northerly 20 th century addition, c. 1981.	1902 (James A. Sandford) 1916 (James A. Sandford) Contributing: Yes Town Criteria: A, C.	

Property address & Tax Roll No.	Map References and Resource Criteria:	Photo:
<p>2397 Montauk Highway 900 - 86 - 2 - 3</p> <p>A two-story dwelling known as the Henry H. Chatfield House, c. 1897, is now a commercial building. It exhibits elements of the Craftsman and Queen Anne styles. It has an octagonal tower that emerges from an integral overhanging porch. A hipped roof dormer also rises from the front roof ridge. The dwelling is ornamented with eaves brackets and multi-light Queen Anne windows.</p>	<p>1902 (Henry H. Chatfield) 1916 (Henry H. Chatfield)</p> <p>Contributing resource: Yes.</p> <p>Town Criteria: A, C, E.</p>	


Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>2395 Montauk Highway 900 - 86 - 2 - 2</p> <p>c. 1920 Bungalow. Restaurant</p>	<p>Contributing resource: Yes.</p> <p>Town Resource: A, C, E.</p>	


Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>2393 Montauk Highway 900 - 86 - 2 - 1.1</p> <p>Non-contributing, but houses the iconic Bobby Van's restaurant.</p>	<p>Contributing resource: No.</p> <p>Town Resource: No</p>	


Property address & Tax Roll No.	Map References and Resource Criteria:	Photo:
<p>2385 Montauk Highway 900 - 86 - 2 - 1.2</p> <p>A favorite gathering place, the Candy Kitchen, c. 1925, dishes out breakfasts, sandwiches, and homemade ice cream to locals and visitors alike. Farmers and firefighters exchange early morning gossip, Hampton Jitney passengers grab newspapers and coffee to go. The Stavropoulos and Laggis families have made this a special place in the life of the hamlet. Built of brick-stucco in a triangular plan with a chamfered entry bay.</p>	<p>Contributing resource: Yes.</p> <p>Town Criteria: A, C, E.</p>	

Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>2357 Montauk Highway 900 - 86 - 1 - 8.3</p> <p>The Bridgehampton Community House, a large, Classical Revival-style community house with two-story-height entry portico, was constructed c. 1921. Construction of the Community House was instigated largely by local resident and author and historian James Truslow Adams, and was constructed through the donations of local residents. The venue was used for movies, plays, dances, and other community events. Town Owned Property.</p>	<p>Contributing resource: Yes.</p> <p>Town Criteria: A, C, E.</p>	


Property address & Tax Roll No.	Map References and Resource Criteria:	Photo:
2339 Montauk Highway 900 - 86 - 1 - 7 Vacant land, c. 1910 building demolished. Owned by BHFD; non-contributing.	Contributing resource: No.	
Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
2331 Montauk Highway 900 - 86 - 1 - 6 2023 constructed Office Building; non-contributing.	Contributing resource: No.	
Property address & Tax Roll No.	Map References and Resource Criteria:	Photo:
2317 Montauk Highway 900 - 86 - 1 - 5 Non-contributing office building, c. 19 th century Sayre House demolished in 2008; non-contributing.	Contributing resource: No.	
Property address & Tax Roll No.	Map References and Resource Criteria:	Photo:
2309 Montauk Highway 900 - 86 - 1 - 4 Howard Halsey House/Salibello Antiques, a cross-gable, Queen Anne/Craftsman-style house, with gable ornamentation was constructed c. 1902. Several alterations occurred in the late 20th century.	1916 (Wallace Halsey) Contributing resource: Yes. Town Criteria: A, C.	
Property address & Tax Roll No.	Map References and Resource Criteria:	Photo:
2297 Montauk Highway 900 - 86 - 1 - 3 Wallace Halsey House demolished 2022. Vacant Land April 2023.	Contributing resource: No	


Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>2287 Montauk Highway 900 - 86 - 1 - 2</p> <p>Non-contributing, office building.</p>	<p>Contributing resource: No</p>	


Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>2273 Montauk Highway 900 - 86 - 1 - 1</p> <p>Henry Fordham House, a three-bay, side-gable building embodying a vernacular interpretation of the Greek Revival style, was constructed c. 1830. The structure is clad in wood shingles, has a wide cornice, and a classical door surround with toplight and sidelights. The windows contain six-over-six-light double-hung sash.</p>	<p>1858 (Fordham) 1873 (W. Fordham) 1894 (E.C. Fordham) 1902 (Mrs. R. Hedges) 1916 (Mrs. R. Hedges)</p> <p>Contributing resource: Yes.</p> <p>Town Criteria: A, C.</p>	


Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>2247 Montauk Highway 900 - 86 - 1 - 18</p> <p>The Methodist Church parsonage, built c. 1880 and located adjacent and behind church, is a simple three-bay shingle-clad Queen Anne-style building with a bracketed entry porch and an oculus gable window.</p> <p>The Bridgehampton United Methodist Church was constructed in 1833 on another lot east just east of St. Ann's Episcopal Church property on south side of Montauk Highway. Due to an expanding congregation, the church was moved to its current site and substantially expanded in 1871. The upper portion of the steeple was destroyed during the Hurricane of 1938 and rebuilt afterward at a lower height.</p>	<p>Parsonage:</p> <p>1894 (Par.) 1902 (Parsonage) 1916 (Parsonage)</p> <p>Church:</p> <p>1836 (East of current location) 1858 (M.E. Church) pre-move west; 1873 (M.E. Church) 1894 (M.E. Ch.) 1902 (M.E. Church) 1916 (ME Church)</p> <p>Contributing resource: Yes.</p> <p>Town Criteria: A, B, C, E.</p>	


Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>2231 Montauk Hwy. 900 - 85 - 2 - 12.1</p> <p>One story retail store, 1980; non contributing.</p>	<p>Contributing resource: No.</p>	
<p>2221 Montauk Hwy. 900 - 85 - 2 - 10</p> <p>Two story 1900 house modified for offices; non contributing.</p>	<p>1902 (Nettie Rogers)</p> <p>1916 (Frank Halsey)</p> <p>Contributing resource: No.</p>	
<p>2209 Montauk Hwy. 900 - 85 - 2 - 9</p> <p>One story retail grocery store 1950; non-contributing.</p>	<p>Contributing resource: No.</p>	

Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>2195 Montauk Hwy. 900 - 85 - 2 - 8</p> <p>Two and one-half story house 1910; modified for office use.</p>	<p>Contributing resource: No.</p>	



Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>2183 Montauk Hwy. 900 - 85 - 2 - 7</p> <p>Two story 2019 office building; non contributing</p>	<p>Contributing resource: No.</p>	

Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>2173 Montauk Hwy. 900 - 85 - 2 - 6</p> <p>One story house 1925; non-contributing.</p>	<p>Contributing resource: No.</p>	


Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>2167 Montauk Hwy. 900 - 85 - 2 - 5</p> <p>1910 House converted to two story office building; non contributing.</p>	<p>Contributing resource: No.</p>	


Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>2155 Montauk Hwy. 900 - 85 - 2 - 4</p> <p>1940 retail building; non contributing.</p>	<p>Contributing resource: No.</p>	


Main Street (Montauk Highway) North Side, West to East:


Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>2200 Montauk Hwy. 900 - 85 - 1 - 27.1</p> <p>Bank complex and office bldg., 1997.</p> <p>Last headquarters site of Bridgehampton National Bank founded in 1910 and now Dime Community Bank branch. Hamlet gateway building in vernacular red brick Georgian style with Ionic columns on front portico. Connecticut based Wayne Architects, Curtis Wayne, architect.</p>	<p>Contributing resource: Yes.</p> <p>Town criteria: A, C, E.</p>	
<p>2214 Montauk Highway 900 - 85 - 1 - 21</p> <p>The Judge Hugh Halsey House, two-story three bay Greek revival-style house was built c. 1840. Judge Halsey (1794-1858), after attending Williams College in 1811, began his illustrious career, first as a schoolteacher in Water Mill in 1813, before attending Yale in 1814. He went on to become a Suffolk County Judge (1833-47), presidential elector (1844), and New York State Senator (1854-55). He had three sons and a daughter. Two of these sons, Dr. Charles E. and E. Sidney Halsey died serving in the Civil War. His remaining son James M. Halsey's daughter, Katherine P. Halsey, taught young ladies school classes in the house, in the Judge's former law office, in the late 1870s.</p> <p>The front gable wood shingle-clad structure includes pediment and pilasters. Italianate elements, including entry porch, additions, and gable window may either be original or slightly later updates.</p>	<p>1858 (Hugh Halsey) 1873 (J. Halsey) 1902 (Mrs. Jas. Halsey) 1916 (Mrs. Jas. Halsey)</p> <p>Contributing resource: Yes.</p> <p>Town Criteria: A, B, C.</p>	<p>Photo:</p>  <p style="writing-mode: vertical-rl; transform: rotate(180deg);">Photo source: Southampton Town</p>


Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>2228 Montauk Highway 900 - 85 - 1 - 20.1</p> <p>1985 two story commercial building replacing earlier automotive service station; non contributing.</p>	<p>1902 (H. H. Rogers)</p> <p>1916 (H. H. Roger)</p> <p>Contributing resource: No.</p>	
<p>Property address & Tax Roll No.</p> <p>2252 Montauk Highway 900 - 69 - 2 - 17.7</p> <p>Vacant land; non contributing.</p>	<p>Contributing resource: No.</p>	
<p>Property address & Tax Roll No.:</p> <p>2266 Montauk Highway 900 - 69 - 2 - 17.8</p> <p>The Gurden Corwith House, now the Bridgehampton Inn, is a three-bay, front-gable, Greek Revival-style structure. The building has a triangular gable window, sidelights and top-lights surrounding the door, and a classical entry porch. An ell addition is also designed in the Greek Revival style. The house is clad in wood shingles, and windows contain six-over-six-light double-hung sash. Gurden inherited the land from his father, Henry Corwith (1820), and the Greek Revival style suggests a construction date of 1820-1825. Loaves and Fishes Cookshop, western addition, c. 2015</p>	<p>1858 (Corwith)</p> <p>1873 (G. Corwith)</p> <p>1902 (Susan Corwith & Mrs. Ph. Reilly)</p> <p>1916 (Rev. Robert Davis)</p> <p>Contributing resource: Yes.</p> <p>Town Criteria: A, C.</p>	
<p>Property address & Tax Roll No.:</p> <p>2272 Montauk Highway 900 - 69 - 2 - 17.5</p> <p>Accessory building; non contributing.</p>	<p>1902 (S. Corwith & Ph. Reilly)</p> <p>1916 (Robert Davis)</p> <p>Contributing resource: No.</p>	


Property address & Tax Roll No.	Map References and Resource Criteria:	Photo:
<p>2300 Montauk Highway 900 - 69 - 2 - 23</p> <p>Newman Village Condominium: 6 Condominium offices; 9 Condominium residences; non contributing.</p>	<p>Contributing resource: No.</p>	 <p style="writing-mode: vertical-rl; transform: rotate(180deg); font-size: small;">Photo source: Southampton Town</p>


Property address & Tax Roll No.	Map References and Resource Criteria:	Photo:
<p>2322 Montauk Highway 900 - 69 - 2 - 19</p> <p>1962 one story red brick commercial building; lessee US Post Office since January 1963.</p>	<p>Contributing resource: No.</p>	 <p style="writing-mode: vertical-rl; transform: rotate(180deg); font-size: small;">Photo source: Southampton Town</p>


Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>2350 Montauk Highway 900 - 69 - 2 - 21.1</p> <p>The Queen of Most Holy Rosary Catholic Church & Rectory was designed by F. Burrall Hoffman and built in 1912 as the first Catholic Church in Bridgehampton. Prior to its construction, Catholics were obliged to travel to Sag Harbor or Southampton to attend services. At the turn of the 20th century with the influx of Irish, Italian, and Polish immigrants, there was a need for a local parish to serve the growing Catholic population. An original small spire was lost in the Hurricane of 1938. A Rectory, on the parcel immediately east, is designed in the Colonial Revival style.</p>	<p>1916 (Cath. Ch.)</p> <p>Contributing resource: Yes.</p> <p>Town criteria: A, B, C, E.</p>	


Property address & Tax Roll No.	Map References and Resource Criteria:	Photo:
<p>2368 Montauk Highway 900 - 69 - 2 - 22</p> <p>The William Corwith House/Bridgehampton Museum was built c. 1825 to replace an earlier saltbox structure. It is a vernacular five-bay Greek Revival-style house with two brick end chimneys, six-over-six-light wood window sash, and is clad in wood shingles. The house remained in the Corwith family until 1960, and soon after became home to the Bridgehampton Historical Society, which it remains today. The north wing is the first Bridgehampton Methodist Church, 1821, that William Corwith moved to his property c. 1833. Also on the property are the former Bridgehampton Jail (1909), the Strong Blacksmith and Wheelwright Shop (1875), and multiple barns (N/C) and outbuildings (corn crib, outhouse) that were moved to the site in the late 20th century.</p>	<p>1858 (Corwith) 1894 (D.L. Chester incorrect) 1902 (Corwith) 1916 (Corwith)</p> <p>Contributing resource: Yes.</p> <p>Town Criteria: A, C, E.</p> <p>National Register of Historic Places, 2005.</p>	


Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>23 Corwith Avenue 900 - 69 - 5 - 7.1</p> <p>DIA Center for Art; property includes 1908 two story building with tower. (Former home of the Bridgehampton Fire Department and Bridgehampton First Baptist Church.)</p> <p>Also two story four square architecture residence included in parcel</p>	<p>1916 (Fire Dept.)</p> <p>Contributing resource: Yes.</p> <p>Town Criteria: A, C, E.</p>	


Property address & Tax Roll No.	Map References and Resource Criteria:	Photo:
<p>19 Corwith Avenue 900 - 69 - 5 - 8</p> <p>One story commercial building circa 1960; non contributing.</p>	<p>Contributing: No.</p>	 <p style="text-align: right; font-size: small;">Photo source: Southampton Town</p>


Property address & Tax Roll No.	Map References and Resource Criteria:	Photo:
<p>50 Corwith Avenue 900 - 69 - 2 - 10.2</p> <p>Vacant land owned by Southampton Town; non contributing.</p>	<p>Contributing: No.</p>	


Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>2400 Montauk Highway 900 - 69 - 5 - 9</p> <p>Former gas station.</p>	<p>Contributing: Yes</p> <p>Town Criteria: A, C, E.</p>	 <p style="text-align: right; font-size: small;">Photo source: Southampton Town</p>


Property address & Tax Roll No.	Map References and Resource Criteria:	Photo:
<p>2402 Montauk Highway 900 - 69 - 5 - 10</p> <p>The Tudor Revival-style building operated as Bobby Van's restaurant for several decades. The business was originally known as Basso's Restaurant, opened by Frank and Celestina Basso in the 1920s. The structure features a bracketed cornice and half-timbering. It is parged with stucco. Originally a one-story building. The storefront was built out to the sidewalk and large glass plate windows were added in March 1929.</p>	<p>1894 (Store) 1902 (Mrs. H. Aldrich) 1916 (Rogers)</p> <p>Contributing resource: Yes.</p> <p>Town Criteria: A, C.</p>	

Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>2408 Montauk Highway 900 - 69 - 5 - 11.1</p> <p>Referenced in news as the Magee Building. Hamlet Post Office (1950- December 1962). Part of Magee block. Raymond Magee (1866-1944), historic local person, farmer, real estate entrepreneur, sportsman (harness racing) and early 20th century leader in development of Main Street, Bridgehampton as well as in scaled up market driven potato agriculture.</p>	<p>1858 (Presb. Parsonage) 1873 (Presby. Par.) 1894 (Presb. Parsonage) 1902 (Presby. Parsonage) 1916 (Presby. Parsonage)</p> <p>Contributing resource: Yes.</p> <p>Town Criteria: A, B, C.</p>	


Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>2414 Montauk Highway 900 - 69 - 5 - 11.3</p> <p>One-and-a-half-story front-gable commercial building, clad in wood clapboard. It may have been constructed mid-19th century, however the upper-story ribbon windows were likely a mid-20th-century addition. "First located across the street, this garage structure was used for parts storage by James A. Sandford Plumbing... It was moved to its current location and enlarged in 1921" (BHAR). It is in early auto racing photos (1914-1920) in its original location on south side of Main Street prior to move. The "garage" was converted into a store in 1925 for Raymond Magee by local builder C.H. Hildreth with the addition of the flat roofed west one story enlargement.</p> <p>Part of the Magee Block.</p>	<p>1873 (Shop) 1894 (Shop) 1902 (Shop) 1916 (Shop) pre-move to north side of street.</p> <p>Contributing: Yes.</p> <p>Town Criteria: A, B, C.</p>	


Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>2418 Montauk Highway 900 - 69 - 5 - 11.6</p> <p>Built prior to 1902, part of the Cook Estate.</p>	<p>1902 (Richard Cook) 1916 (Estate of R. Cook)</p> <p>Contributing: Yes.</p> <p>Town Criteria: A, C.</p>	



Property address & Tax Roll No.	Map References and Resource Criteria:	Photo:
<p>2422 Montauk Highway 900 - 69 - 5 - 11.6</p> <p>2424 Montauk Highway 900 - 69 - 5 - 11.7</p> <p>A single-story, brick, 3-store front commercial building constructed c. 1930. This was formerly occupied by H.C. Bohack, west side, an early supermarket chain and the Bridgehampton Post Office, east side, which operated until 1950 when it moved to 2408 Montauk Highway. The vacated portion of building taken over by expanded H.C. Bohack. Subdivision of store building into two stores as 2422 & 2424 approved in 1996.</p>	<p>Contributing resource: Yes.</p> <p>Town Criteria: A, C.</p>	


Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>2426 Montauk Highway 900 - 69 - 5 - 12</p> <p>One story commercial building, 1950. Built as offices for Harold M. and Robert C. Hallock businesses: real estate brokerage, Pine Neck development, Hampton Press printing, and last home of the weekly Bridgehampton News (Feb. 1895-Dec. 1967). Harold M. Hallock (1891- 1975) served as Justice of the Peace and Town Board member (1943-63), Receiver of Taxes, founding fund raiser for Bridgehampton Community House construction, a historic local person.</p>	<p>Contributing resource: Yes.</p> <p>Town criteria: A, B, C.</p>	


Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>41 Montauk Highway 900 - 69 - 5 - 13</p> <p>Town Owned Parking Lot</p>	<p>Contributing resource: No.</p>	


Property address & Tax Roll No.	Map References and Resource Criteria:	Photo:
<p>2434 Montauk Highway 900 - 69 - 5 - 14</p> <p>One story commercial building c. 1950 with two-story gabled addition of the 1980's. Multi generational business successfully serving hamlet transition from agricultural economy to that of resort and second home life-styles.</p>	<p>Contributing: Yes.</p> <p>Town criteria: A, C, E.</p>	


Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>2442 Montauk Highway 900 - 69 - 5 - 17</p> <p>Attached row type one story commercial building – 4 stores. Renovation c. 1958. Bottom building image, original site Rana's Fruit Stand and Market, pre-1930. Brick façade, added after 1950.</p>	<p>Contributing: Yes.</p> <p>Town criteria: A, C, E.</p>	


Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>2446 Montauk Highway 900 - 69 - 5 - 18.1</p> <p>Built c. 1916. Originally owned by the East Hampton Lumber and Coal Co, and early occupied by the Great Atlantic & Pacific Tea Company, building was sold in 1921 to Anthony DePetris who, with son Francis, in 1945 relocated the DePetris Food Market (1915-1983) there. Now Sotheby's.</p>	<p>1916 (E.H. Lumber Co.)</p> <p>Contributing resource: Yes.</p> <p>Town Criteria: A, C, E.</p>	
<p>2450 Montauk Highway 900 - 69 - 5 - 19.1</p> <p>c. 1875. Originally the store of Tiffany & Huntting. Nathan N. Tiffany (1812-1882), a Sag Harbor merchant, moved to Bridgehampton in the 1860s and went into business with whaling captain James R. Huntting (1825-1882). In the early 1880s the store was leased for a 5-year period to Edward A. Hildreth & Albert Topping. This partnership dissolved in 1882, when Thomas J. Hand replaced Topping as junior partner with Hildreth. The shop, Hildreth & Hand was a Main Street staple until it changed hands c. 1923; it also housed the post office from about 1897-1920. Today, the original Italianate style of the structure, including decorative gable window and eaves brackets, can be seen; however, a modern single-story shop-front addition has changed the appearance of the shop.</p>	<p>1894 (Unidentified square) 1902 (Hildreth & Hand) 1916 (Hildreth & Hand and Post Office)</p> <p>Contributing resource: Yes.</p> <p>Town criteria: A, C, E.</p>	


Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>2454 Montauk Highway 900 - 69 - 5 - 20</p> <p>c. 1880s Former Hannah Hand & Clara Downs House (with storefront added). During the 1930s and '40s this building was the home of the Fireside Inn run by Mrs. Cavileer, where she served lunch, tea, and dinner.</p>	<p>1902 (Hand & Downs) 1916 (Hand & Downs)</p> <p>Contributing resource: Yes.</p> <p>Town criteria: A, C, E.</p>	


Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>2462 Montauk Highway 900 - 69 - 5 - 23</p> <p>Built in 1878, home of Gilbert F. Hallock (1854-1905), prominent merchant, insurance and real estate businessman at turn of 20th Century. Front façade added in the 1980's.</p>	<p>1902 (G.F. Hallock) 1916 (Mrs. G.F. Hallock)</p> <p>Contributing resource: Yes.</p> <p>Town criteria: A, C, E.</p>	


Property address & Tax Roll No.	Map References and Resource Criteria:	Photo:
<p>2466 Montauk Highway 900 - 69 - 5 - 24</p> <p>Hallock building was constructed 1877 as Hallock Insurance. This single-story front-gable commercial structure is faced in stucco. It features a hip-roofed porch, large shop windows, and a three-light door transom. Little to no change.</p>	<p>1894 (G.F. Hallock) 1902 (G.F. Hallock) 1916 (Mrs. G.F. Hallock)</p> <p>Contributing resource: Yes.</p> <p>Town criteria: A, C, E.</p>	


Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>2468 Montauk Highway 900 - 69 - 5 - 25</p> <p>Constructed in 1880, E.J. Hildreth's store, which sold sporting goods, confectionery, and stationery, as well as repaired bicycles. The building was enlarged in 1912 to appear much as it does today: a two-story, four-bay, wood-frame commercial structure, clad in wood clapboard, with a Renaissance Revival-style cornice and multi-light upper-story windows. These windows do appear on a c. 1912 photograph of the building. The ground story has been altered.</p>	<p>1894 (G.F. Hallock) 1902 (E.J. Hildreth) 1916 (E. J. Hildreth)</p> <p>Contributing resource: Yes.</p> <p>Town criteria: A, C.</p>	

Property address & Tax Roll No.	Map References and Resource Criteria:	Photo:
<p>2478 Montauk Highway 900 - 69 - 5 - 26</p> <p>The Hampton Library was built in 1876 through the donations of William Gardiner and Charles Rogers. When it opened, it had the largest collection on Long Island east of Brooklyn. Originally a single-story structure, a second story was added in 1898. The structure is a Queen Anne/Stick-style building with gable ornamentation, a hipped roof, and two-over-two-light windows.</p>	<p>1894 (Library) 1902 (Hampton Library) 1916 (Hampton Library)</p> <p>Contributing resource: Yes.</p> <p>Town criteria: A, C, E.</p>	


Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>2486 Montauk Highway 900 - 69 - 5 - 29</p> <p>1900 building. (F. Leroy) Tiffany Pharmacy (est. circa 1910) became (John A.) Sivigny's Pharmacy in 1946; sold to and operated by Emil Pape Dec. 1970 to Dec. 1986 when closed; became boutique retail stores.</p>	<p>1902 (T.O Worth) 1916 (Mrs. Worth)</p> <p>Contributing resource: Yes.</p> <p>Town Criteria: A, C, E.</p>	


Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>2488 Montauk Highway 900 - 69 - 5 - 34.1</p> <p>Constructed c. 1902 as a two-story, three-bay brick store with a single-story three-bay wing known as Loper's, a grocery retailer. In 1910, the newly formed Bridgehampton National Bank began leasing the building, and later purchased it. In 1926, the bank wrapped the earlier façade and added to the building, resulting in the current two-story Neoclassical brick structure. The Post Office was located on the west side of the building in the 1920s and 1930s. The building is now a coffee shop, and the bank vault is still intact and visible in the interior.</p>	<p>1902 (E. C. Loper) 1916 (E.C. Loper)</p> <p>Contributing resource: Yes.</p> <p>Town criteria: A, C, E.</p>	


Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>2510 Montauk Highway 900 - 69 - 5 - 36.1</p> <p>Site of Wick's Tavern, c.1686. Demolished in 1939.</p> <p>Site of Shell Gas Station, c. 1940. Demolished 2012.</p> <p>New office building, built 2016.</p>	<p>Contributing resource: No.</p> <p>Town criteria: E.</p>	


Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>1 Bridgehampton Sag Harbor TPKE 900 - 71- 3 - 8.1</p> <p>c. 1842. This formidable Greek Revival-style mansion was constructed for Judge Abraham Topping Rose c. 1842. It was later used as a restaurant and inn, operated as the Colonial House and Bull's Head Inn, and was more recently used as an antique shop. The two-and-a-half-story structure is distinguished by a roughly square plan and a large boxy form. It is topped by a cupola. Four brick chimneys rise from each corner of the shallow hipped roof. The main doorway occupies the central bay of the five-bay front façade and is elaborately framed with top lights, sidelights, and paired pilasters. The front façade, which is largely mirrored in the other three elevations, has pilasters at each end, is clad in wood shingles, and is regularly fenestrated with six-over-six-light double-hung sash windows. The top story, added in 1911, is distinguished with a flush board frieze containing twelve-light fixed-sash windows, each flanked by small pilasters.</p>	<p>1858 (Judge Rose) 1873 (S. Wilkeson) 1894 (Ms. Francis Bell) 1902 (H. N. Corwith) 1916 (H.N. Corwith)</p> <p>Contributing resource: Yes.</p> <p>Town criteria: A, C.</p>	


Off Main Street:

Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>24 Lumber Lane 900 - 69 - 5 - 33</p> <p>Dr. Edgar B. Mulford, born in Amagansett and trained at Bellevue Medical College before settling in Bridgehampton, built this house and commenced his practice in 1878. It is said that Dr. Mulford did not lose a single patient during the Spanish Flu pandemic of 1918-1919, warning folks not to travel.</p>	<p>1894 (Mulford) 1902 (E.B. Mulford) 1916 (E. B. Mulford)</p> <p>Contributing: Yes.</p> <p>Town Criteria: A, C.</p>	

Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>39 Lumber Lane 900 - 71 - 1 - 35</p> <p>c.1830. This side-gabled vernacular building exhibits elements of the Greek Revival style was built by Capt. William Topping, and in 1855 became the home Dr. John L. Gardiner, a descendant of Lion Gardiner. In 1891, it became the home of Dr. Silas Corwith.</p>	<p>1858 (Dr. J. L. Gardiner) 1873 (Dr. Gardiner) 1894 (S. R. Corwith) 1902 (S.R. Corwith) 1916 (G.M. Vail)</p> <p>Contributing: Yes.</p> <p>Town Criteria: A, C.</p>	 <p style="font-size: small; text-align: right;">Photo source: Southampton Town</p>

Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>40 Ocean Road 900 - 86 - 2 - 23</p> <p>This residence was the home and shop of James Havens, a well-known and respected blacksmith. The building was built c. 1820 but was drastically altered in the 2000s .</p>	<p>1858 (unidentified) 1873 (1) 1894 (unidentified) 1902 (J. S. & Ph. Havens) 1916 (Mary Havens)</p> <p>Contributing: No</p>	

Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>46 Ocean Road 900 - 86 - 2 - 25.1</p> <p>c. 1850, a two-story shingle-clad residence, likely dating to the second quarter of the 19th century. The four-bay façade includes an entryway with a six-panel door flanked by pilasters. The windows contain six-over-six-light double-hung sash.</p>	<p>1858 (unidentified) 1873 (2) 1894 (unidentified) 1902 (Mrs P. Hallock) 1916 (Mrs. Hallock)</p> <p>Contributing resource: Yes. Town criteria: A, C.</p>	

Property address & Tax Roll No.:	Map References and Resource Criteria:	Photo:
<p>52 Ocean Road 900 - 86 - 2 - 26.2</p> <p>c. 1860, the Samuel Halsey House is a vernacular Cape Cod-style dwelling, likely built during the mid-19th century. It has been altered, likely c. 1900, with the introduction of a wall dormer on the front roof slope and a hip-roofed porch. It retains s wood shingle cladding and six-over-six-light double-hung sash windows.</p>	<p>1858 (unidentified) 1873 (3) 1894 (unidentified) 1902 (S. Halsey) 1916 (S. Halsey)</p> <p>Contributing resource: Yes. Town criteria: A, C.</p>	

appendix



Thayer's Hardware built c. 1952, as seen here in 2020.

historic maps & image resources



1836 J.H. Colton and J. Calvin Smith Map of Long Island, New York.

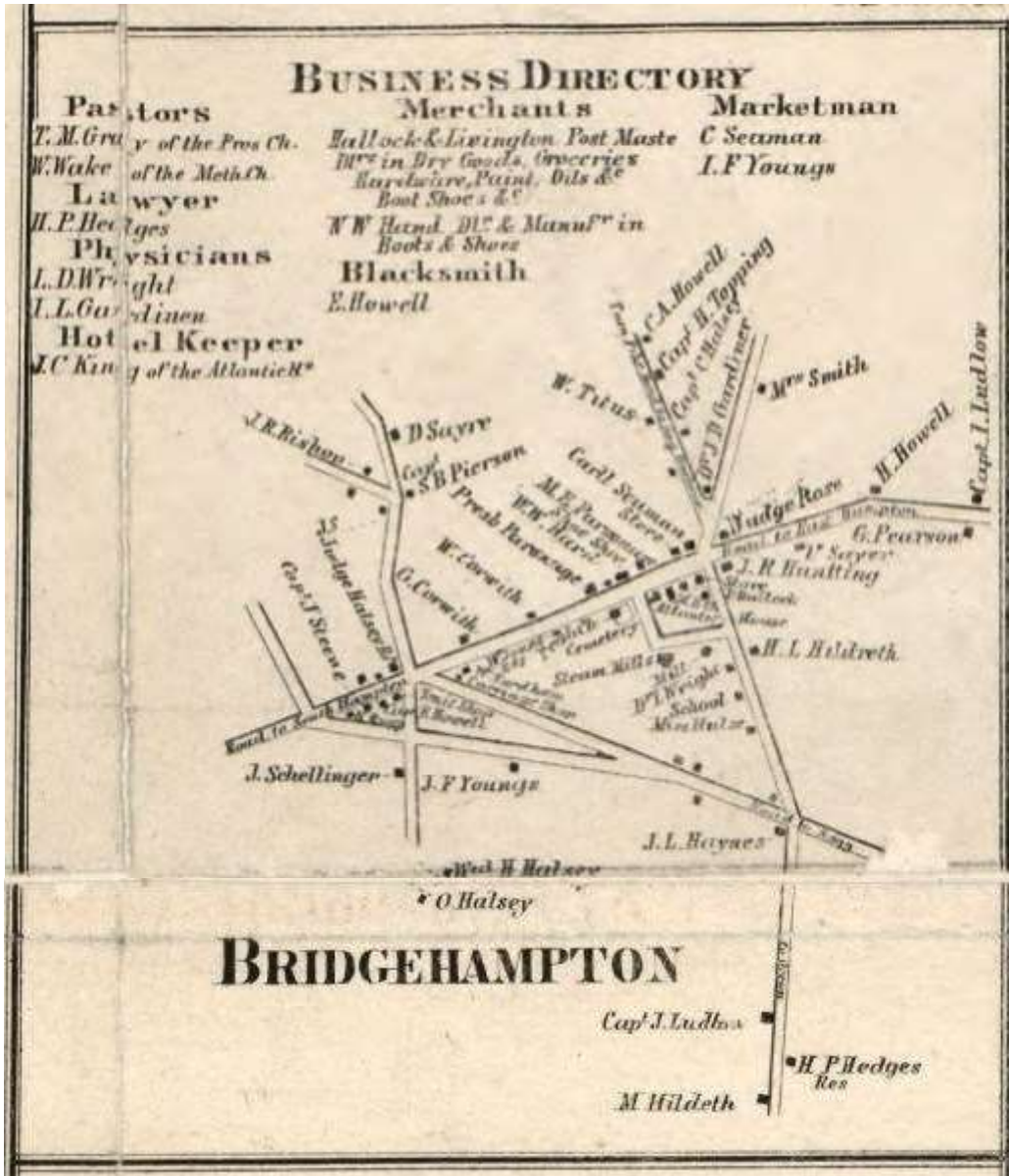


Fig. 1., Bridgehampton Center Map detail, Chace Map, 1858.

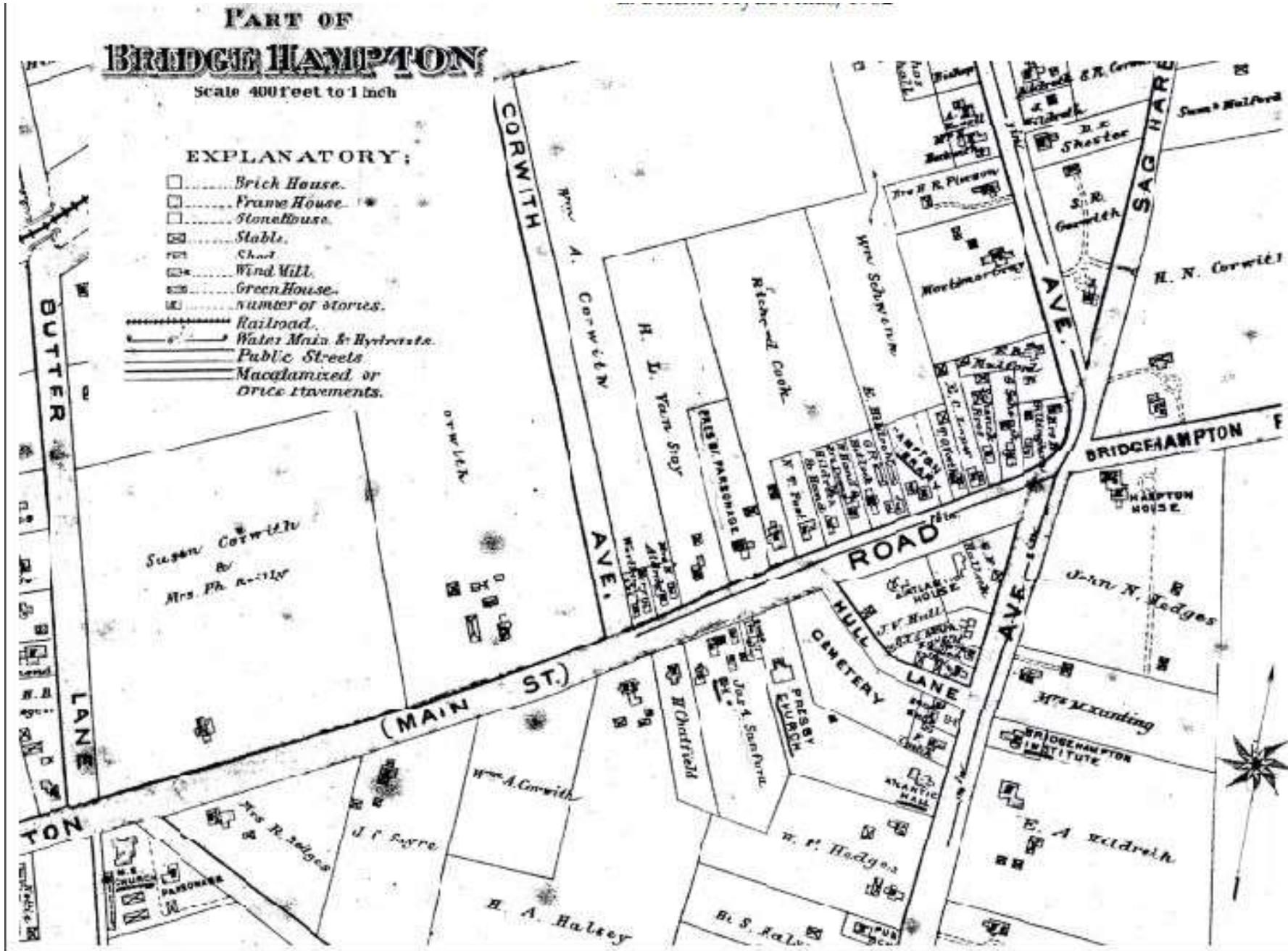


Fig. 4., E. Belcher Hyde South Shore Atlas, 1902 Long Island, New York.

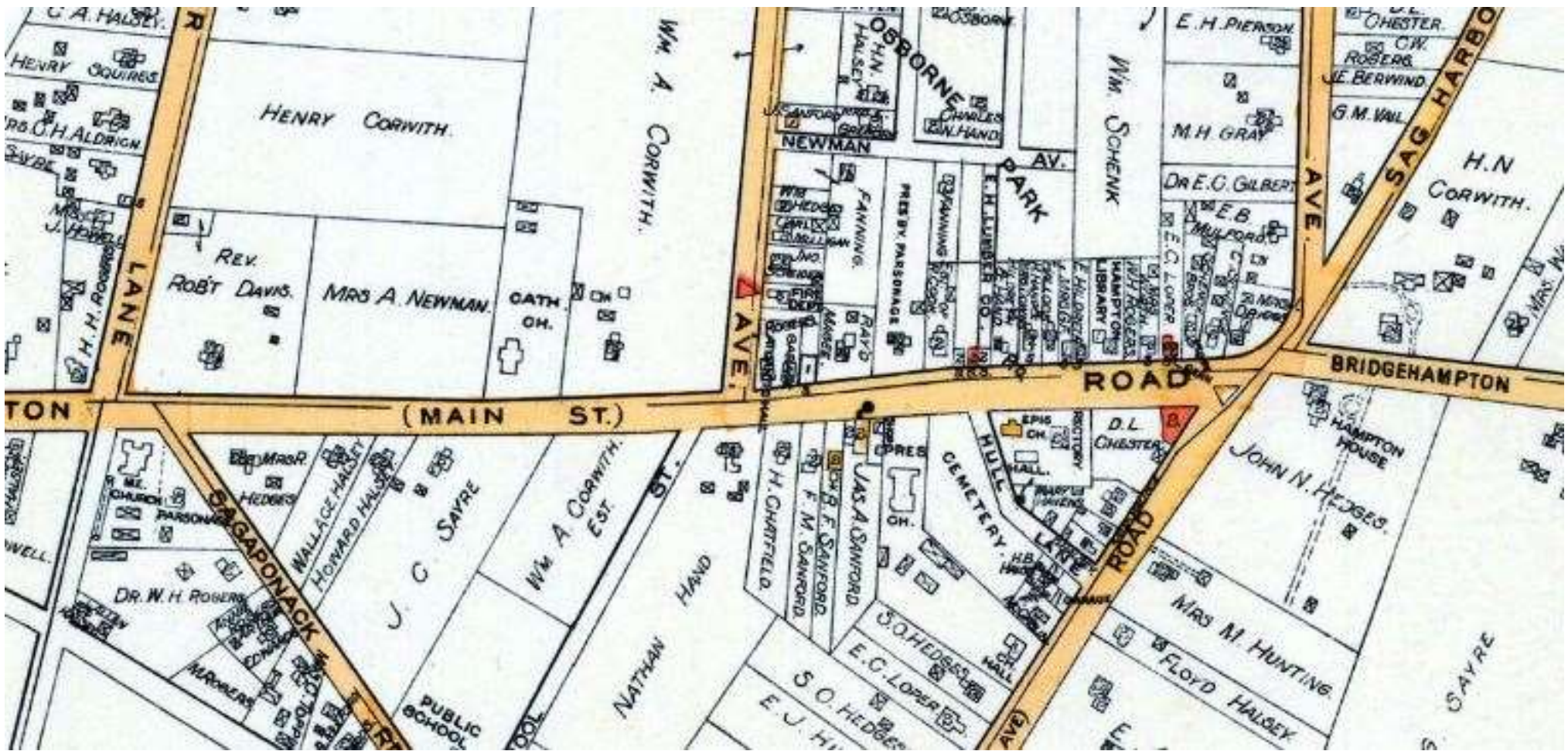


Fig. 5., E. Belcher Hyde Suffolk County 1916 Vol 2 Long Island, New York.



Fig. 6., Suffolk County 1930 Aerial Photograph Detail of Bridgehampton, N.Y.

references & resources

[PAGE 171.] It is also concluded at ye aforesaid meeting by the Major vote that ye town in a generall town Rate Including the whole town shall pay towards the building of a bridge over Sagaponack Pond fifty pounds in pay. the Inhabitants of Sagaponack and meeox to make and to retain the said bridge forever at their own charg. and they are to make and maintain ye said bridge sufficient for either men horses or carts to pass over.

Contract to build the Bridge, July 22, 1686. Southampton Town Records, Book 2, p. 110.

Southampton Town Resources

Southampton Tomorrow, Comprehensive Plan Update Implementation Strategies Town of Southampton, New York; March, 1999

Bridgehampton Hamlet Heritage Area Report, Ann Sandford, Town of Southampton, N.Y. January 2009

Chapter 18. Bridgehampton, Southampton Historic Resources Survey, AKRF, Inc., N.Y., April 2014

Southampton Historic Town Record Books, Vol. 1-8, 1640-1927.

Southampton Town Landmarks & Historic Districts Board resources

Identification of Historic Places and Properties-Appendix B

Article XXVIII. Landmarks and Historic Districts and Heritage Resource Areas

Myths Commonly Associated with Historic Preservation & Designation, Sally Spanburgh, Chairperson,
Landmarks & Historic Districts Board, September 2011

Application for Town of Southampton Historic District Designation

<http://www.southamptontownny.gov/DocumentCenter/View/18056/Historic-District-Designation-Application-PDF-?bidId=>

Southampton Town Landmarks Maintenance Award Program (LMAP) General Information and Procedures, (Rev. 12/2019)

Town and State Benefits for Designated Town Landmarks and Contributing Resources in Historic Districts, (June 2019)

New York State Resources

State Preservation Office — <https://parks.ny.gov/shpo/>

Legal Aspects of Municipal Historic Preservation, James A. Coon Local Government Technical Series, N.Y.S.
(January 2002, Rev. Nov. 2005, Reprint January 2008)

Preservation Resources

The Top Ten Myths About Historic Preservation, Ken Bernstein (Los Angeles Conservancy)

The Politics of Historic Districts: A Primer for Grassroots Preservation, William E. Schmickle (Alta Mira Press, 2007)

Federal Historic Preservation Laws, National Park Service, (U.S. Dept. of the Interior, 2002)

History on the Line: Testimony in the Cause of Preservation, Richard W. Longstreth (Historic Urban Plans, Inc., 1998)

Saving Place: A Guide and Report Card for Protecting Community Character, Philip B. Herr (National Trust for Historic Preservation, 1991)

Historic Preservation: An Introduction to its History, Principles, and Practice, Norman Tyler (W. W. Norton & Co., 2000)

The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings, Kay D. Weeks and Ann E. Grimmer (U.S. Department of the Interior, W.D.C., 1995)

Selected References

Memorials of Old Bridgehampton. James Truslow Adams. (Port Washington, N.Y., 1962) 1st ed., 1916.

History of the Town of Southampton. James Truslow Adams. (Port Washington, N.Y. 1962) 1st ed., 1918.

Story of a Celebration, Bridgehampton, Long Island, 1660-1910., John E. Heartt, ed. (Long Island, N.Y., Hampton Publishing Co., 1910)

Bridgehampton's Three Hundred Years. Paul H. Curts, ed. (Bridgehampton, N.Y., 1956)

Bridgehampton. Geoffrey K. Fleming. (Charleston: Arcadia Publishing, 2003)

"Salt Box to Sand Box, Architecture in Bridgehampton: A Microcosm of Style & Trends," Sherrill Foster.
(Unpublished papers, 1994)

Bridgehampton's Summer Colony. Julie B. Greene. (Charleston: Arcadia Publishing, 2015)

Sketches from Local History. William Donaldson Halsey. (Southampton, N.Y.: The Yankee Peddler Book Co., 1966) 1st ed., 1935.

This publication was prepared by Julie B. Greene, Town Historian, Office of the Town Clerk's Historic Division with Edward Wesnofske, Chairman of the Landmarks & Historic District Board. The Main Street Historic District Inventory was researched by Ms. Greene, with architectural details furnished by the Southampton Historic Resources Survey 2014 (AKRF). The Design Guidelines were heavily modeled on the following publications: *Village of Roslyn's Guidelines for Additions & New Construction*, prepared in September 2007 by Dominique M. Hawkins, AIA, of Preservation Design Partnership in Philadelphia, PA, for the New York State Council on the Arts (NYSCA); and the *Secretary of the Interior's Standards for Rehabilitation, Guidelines for Rehabilitation of Historic Buildings, Guidelines on Sustainability, Four Treatments Standards: Preservation, Rehabilitation, Restoration, and Reconstruction*, and *Guidelines for the Treatment of Historic Properties*, which can be found online at: www.nps.gov/tps/standards/rehabilitation.htm. Historic photographs courtesy of the Bridgehampton Museum. All photographs taken by Julie B. Greene, unless otherwise noted.

acknowledgements



Southampton Town Council

Jay Schneiderman,
Supervisor

John Bouvier, Councilperson

Rick Martel, Councilperson

Cyndi McNamara, Councilperson

Tommy John Schiavoni, Councilperson



Hampton House (Nathaniel Rogers House) c. 1895.

Southampton Town Clerk's Office

Sundy A. Schermeyer,
Town Clerk, RMC

Julie B. Greene,
Southampton Town Historian
Historic Division



Nathaniel Rogers House, 2021.

Landmarks & Historic Districts Board

Edward Wesnofske, Chairperson
Stephanie Davis, Vice Chairperson

Susan Sherry Clark
Timothy Ganetis
Jeffrey Gibbons
Martha Greene
William Heine
Victoria Kahn
Barbara Roberts