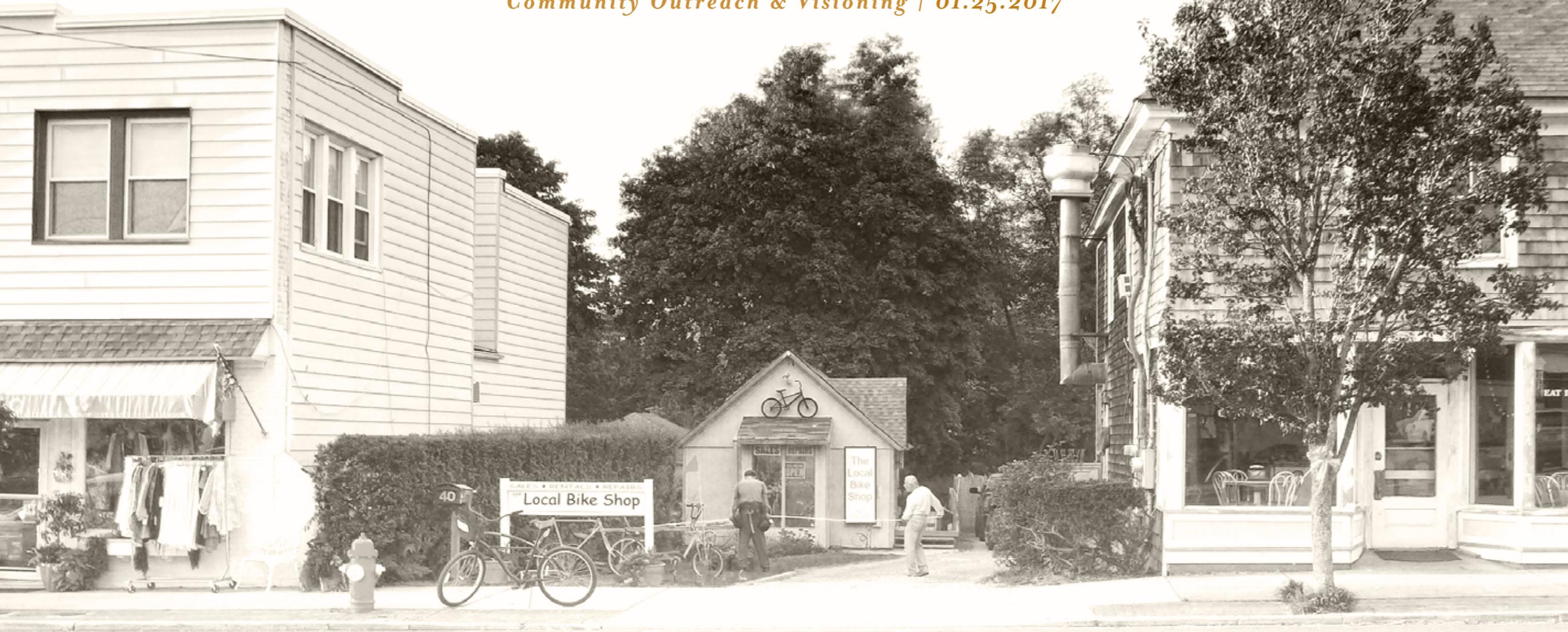




HAMPTON BAYS, NEW YORK

Community Outreach & Visioning | 01.25.2017



HISTORICAL CONCEPTS
ARCHITECTURE & PLANNING



GATHER DATA

SITE VISIT
STAKEHOLDER MEETINGS
PRECEDENT TOURS

OCTOBER 2016

STAKEHOLDER AND
PUBLIC MEETINGS

NOVEMBER 2016

PRESENT FINDINGS

PUBLIC
MEETING

JANUARY 2017

WORK SESSION
with TOWN BOARD

JANUARY 2017

WORK SESSION *with*
PLANNING BOARD

JANUARY 2017

CREATE THE TOOL

PRESENT PATTERN
BOOK *to* TOWN

APRIL 2017



HUNTINGTON

NORTHPORT

PORT JEFFERSON

RIVERHEAD

SOUTHOLD

GREENPORT

SAG HARBOR

AMAGANSETT

EAST HAMPTON

BRIDGEHAMPTON

SOUTHAMPTON

HAMPTON BAYS

WESTHAMPTON BEACH

BELLPORT

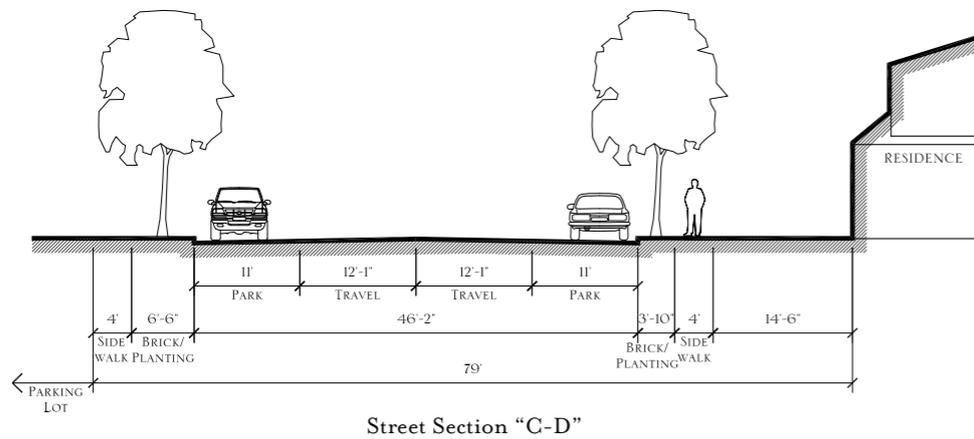
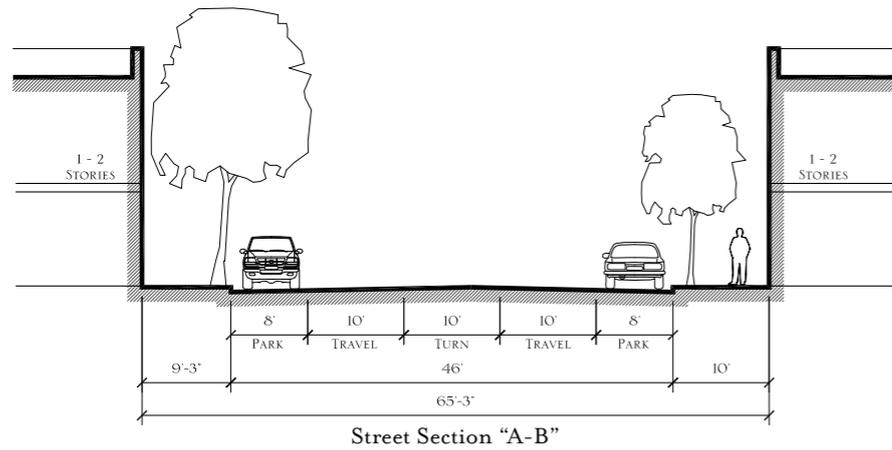
PATCHOGUE

SAYVILLE

BAY SHORE

BABYLON

MONTAUK HIGHWAY STREET SECTIONS



IDENTIFYING FEATURES

1. Hamlet; lack of consistent street frontage with the exception of an about-two-block core at the intersection of Montauk and Ponquogue; several large single-use suburban-styled commercial establishments to the east and west
2. Wide street section with driving and parking lanes; turning lane near intersection
3. 9'-3" sidewalks along north side of Montauk Highway; width varies along south side; trees, street lamps, and hanging flowers in buffer
4. On-street parallel parking on both sides of street; several parking lots along Montauk Highway, and large midblock lot west of Ponquogue Avenue
5. Good Ground Park one block north of Montauk Highway, with Cannuscio Trail pedestrian connection to Montauk Highway
6. Core intersection of Montauk Highway and Ponquogue Avenue (as depicted in Street Section "A-B") has masonry and wood two-story buildings with pitched roofs; narrower frontage than newer buildings to the west (as depicted in Street Section "C-D"); newer buildings have wider frontage, are set back from the sidewalk

CURRENT PHOTOGRAPHS

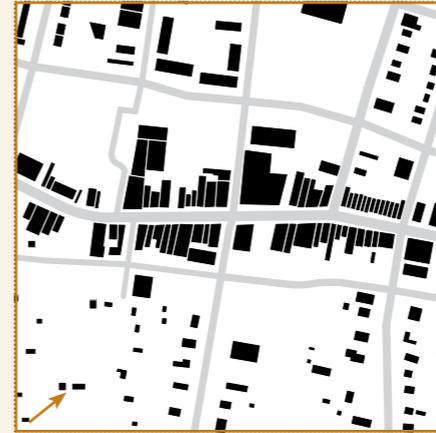




AMAGANSETT
BUILDING DENSITY: 1.6/ACRE
FACADE FREQUENCY: 1/381f



BABYLON
BUILDING DENSITY: 3.1/ACRE
FACADE FREQUENCY: 1/391f



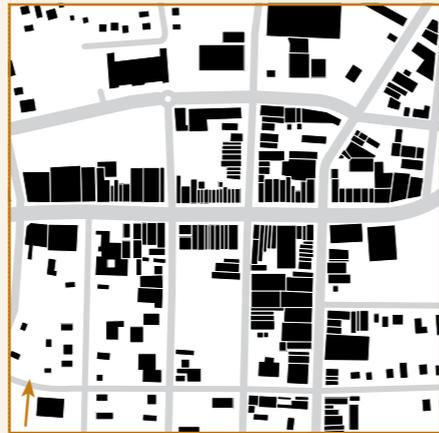
BAY SHORE
BUILDING DENSITY: 2.2/ACRE
FACADE FREQUENCY: 1/261f



BRIDGEHAMPTON
BUILDING DENSITY: 1.7/ACRE
FACADE FREQUENCY: 1/381f



GREENPORT
BUILDING DENSITY: 3.5/ACRE
FACADE FREQUENCY: 1/361f



HUNTINGTON
BUILDING DENSITY: 3.7/ACRE
FACADE FREQUENCY: 1/251f



NORTHPORT
BUILDING DENSITY: 2.5/ACRE
FACADE FREQUENCY: 1/251f



PATCHOGUE
BUILDING DENSITY: 2.9/ACRE
FACADE FREQUENCY: 1/321f



SAG HARBOR
BUILDING DENSITY: 3.0/ACRE
FACADE FREQUENCY: 1/231f



SAYVILLE
BUILDING DENSITY: 2.6/ACRE
FACADE FREQUENCY: 1/321f



SOUTHAMPTON
BUILDING DENSITY: 2.8/ACRE
FACADE FREQUENCY: 1/251f



WESTHAMPTON BEACH
BUILDING DENSITY: 1.6/ACRE
FACADE FREQUENCY: 1/451f



HAMPTON BAYS
 BUILDING DENSITY: 1.1/ACRE
 FACADE FREQUENCY: 1/501f
 MAIN STREET BLOCK: 1,187 ft



SOUTHAMPTON
 BUILDING DENSITY: 2.8/ACRE
 FACADE FREQUENCY: 1/251f
 AVG. MAIN ST. BLOCK LENGTH: 352 ft



GREENPORT
 BUILDING DENSITY: 3.5/ACRE
 FACADE FREQUENCY: 1/361f
 AVG. MAIN ST. BLOCK LENGTH: 291 ft



SAG HARBOR
 BUILDING DENSITY: 3.0/ACRE
 FACADE FREQUENCY: 1/231f
 AVG. MAIN ST. BLOCK LENGTH: 425 ft

Good Ground Park

LIRR
Station

Montauk Hwy.

Good Ground Rd.

North





1



2



3



4



5



6



7



8



9

Community Preference Survey Future Design Of The Hampton Bays Business District

We want your Ideas!

1 / 6  17%

Below is an online survey to get community input for the vision and architectural design for the business district of Hampton Bays. The area of the Downtown Overlay District includes businesses along Main Street and Good Ground Road from Ponquogue Avenue to Springville Road, as well as all the parcels north of Main Street to Good Ground Park.

This is your opportunity to help shape the future of the heart of Hampton Bays. Complete the survey below and help design your community!

We look forward to your participation by sharing your preferences and opinions. Please see the Town of Southampton website for updates on future public meetings.

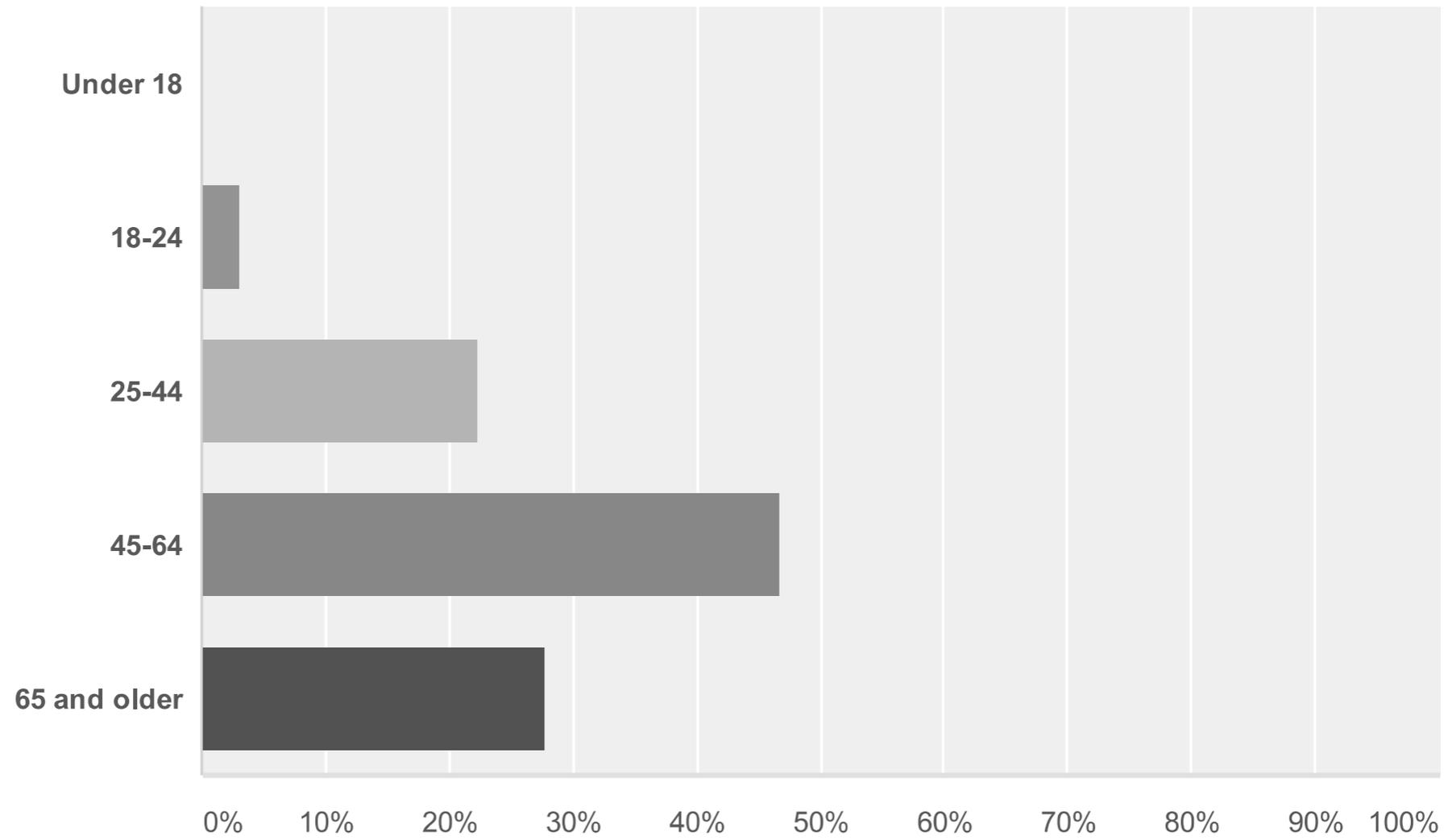
[Click here to enlarge map](#)



Survey open November 21 through December 16, 2016

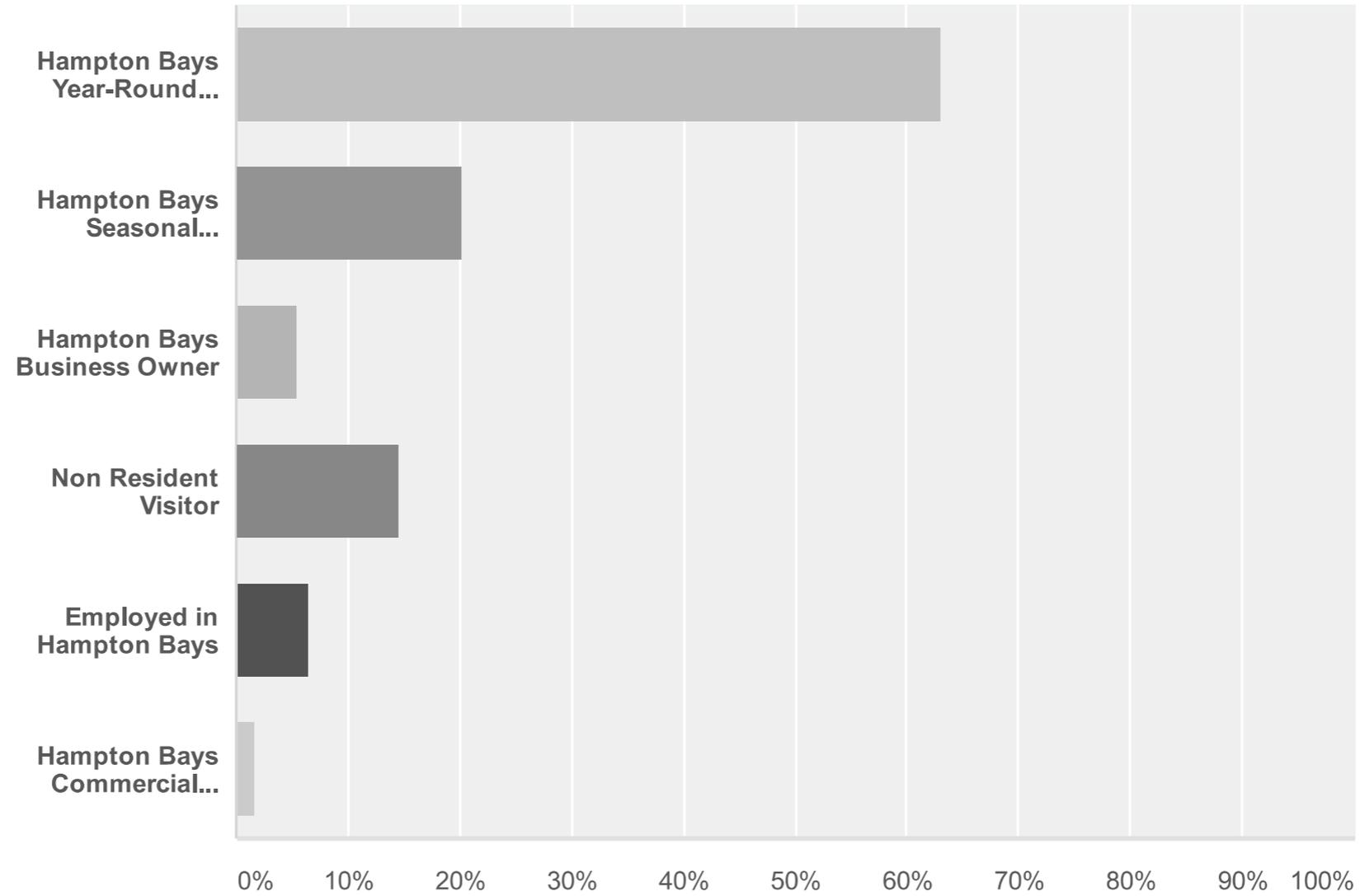
1,222 Responses

Select your age group.



Answer Choices	Responses
Under 18	0.08% 1
18-24	3.06% 37
25-44	22.33% 270
45-64	46.73% 565
65 and older	27.79% 336
Total	1,209

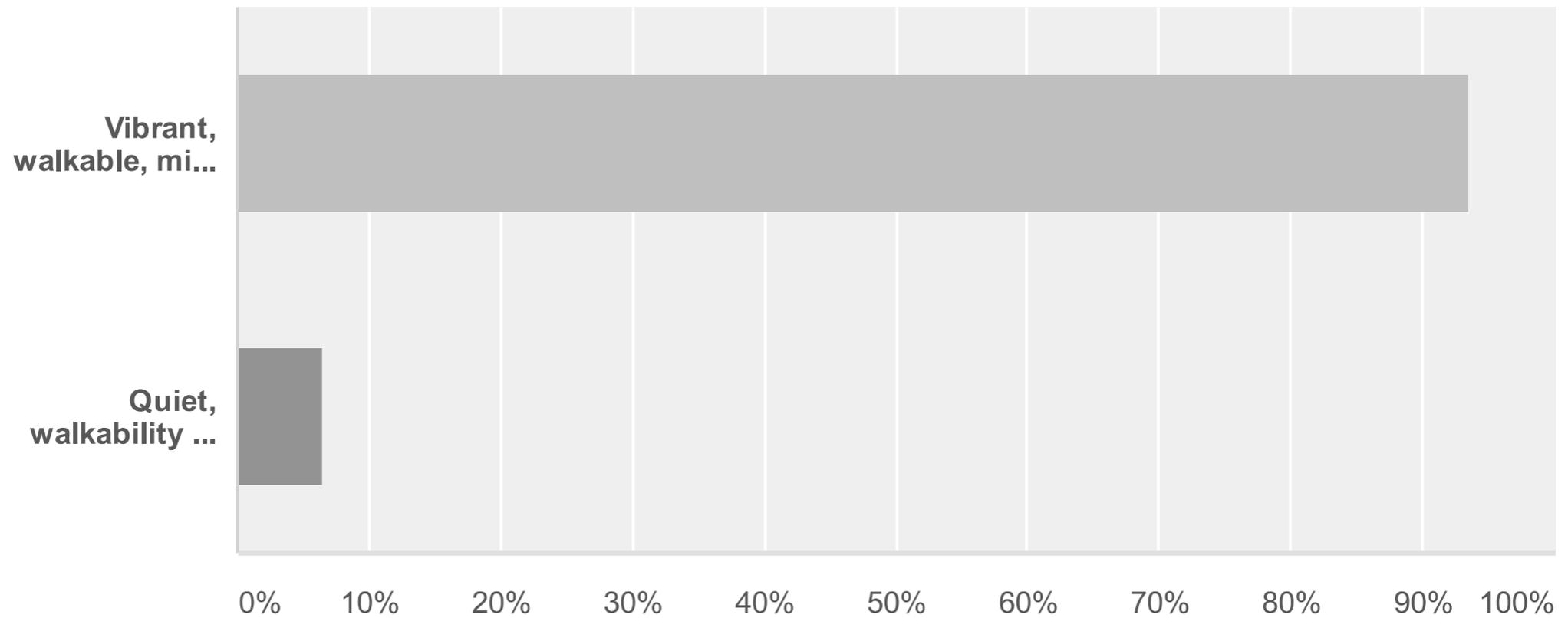
Please select all that apply:



Answer Choices	Responses	
Hampton Bays Year-Round Resident	62.95%	756
Hampton Bays Seasonal Resident	20.15%	242
Hampton Bays Business Owner	5.33%	64
Non Resident Visitor	14.65%	176
Employed in Hampton Bays	6.49%	78
Hampton Bays Commercial Owner	1.67%	20

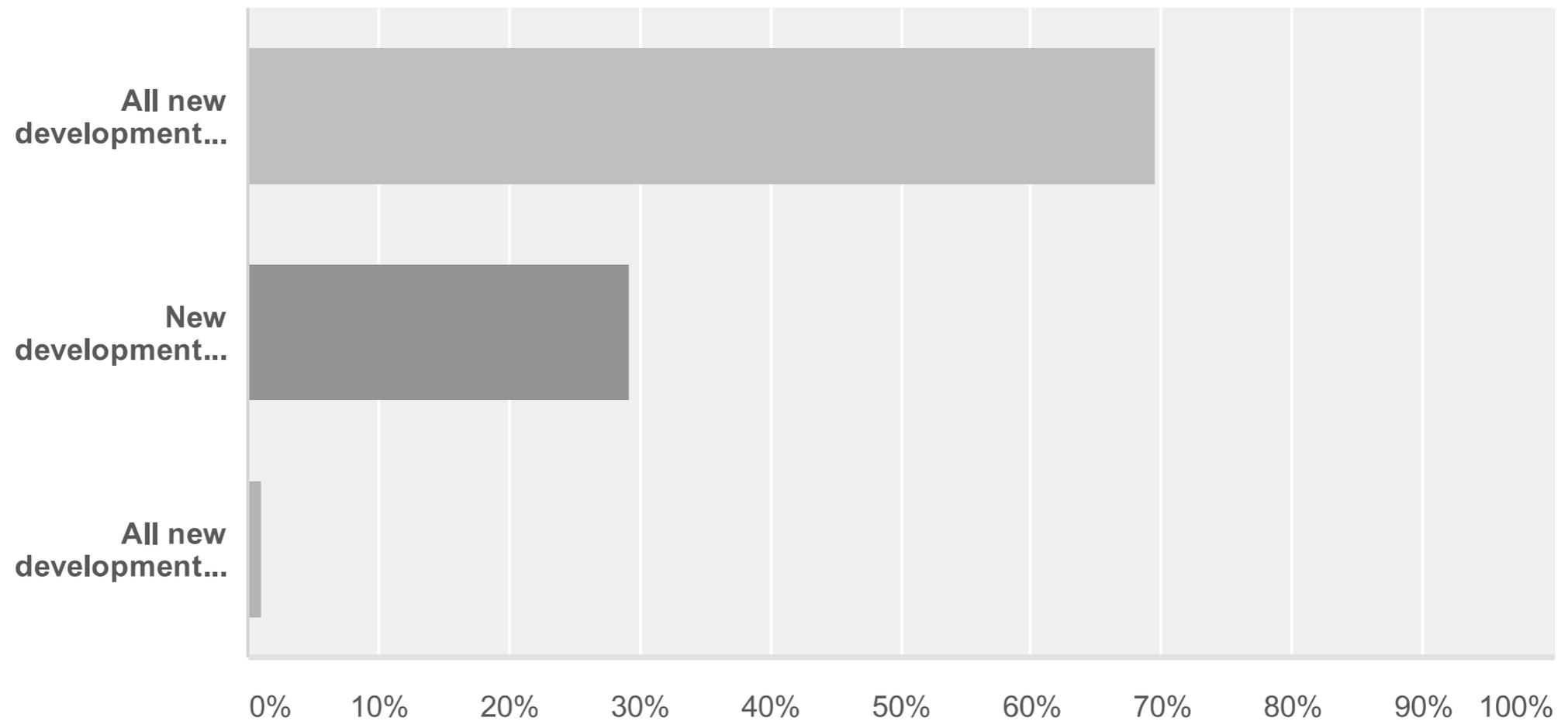
Total Respondents: 1,201

Which of the following characteristics most closely matches your future vision for downtown Hampton Bays?



Answer Choices	Responses
Vibrant, walkable, mixed uses, many options for shopping and restaurants, high pedestrian activity	93.50% 619
Quiet, walkability is not important, only a few options for shopping and restaurants, low pedestrian activity	6.50% 43
Total	662

Which of the following statements most closely matches your future vision for the architecture of downtown Hampton Bays?



Answer Choices	Responses	
All new development should be of traditional character.	69.62%	463
New development should be a mix of traditional and modern.	29.32%	195
All new development should be modern.	1.05%	7
Total		665

What do you like or dislike about the following image? Feel free to comment on the buildings, sidewalks, and landscaping.



Specific Likes

architecture-variety
mixed-use
flowers
shop-windows
wide-sidewalk
trees
traditional
1-2-stories
cobblestone
benches
materials
bike-racks
outdoor-seating
colors
storefronts
grass
building-height-variety
rooftlines
brick-walkway

General Positive Words

pedestrian-friendly
clean
charm
quaint
traditional
small-town-charm
inviting
hamptons
welcoming
classic
hometown
old
unique
modern
pleasant
friendly
cute
cozy
pretty
quiet
warm
simple
comfort
historical
beachy
sophisticated
american

What do you like or dislike about the following image? Feel free to comment on the buildings, sidewalks, and landscaping.



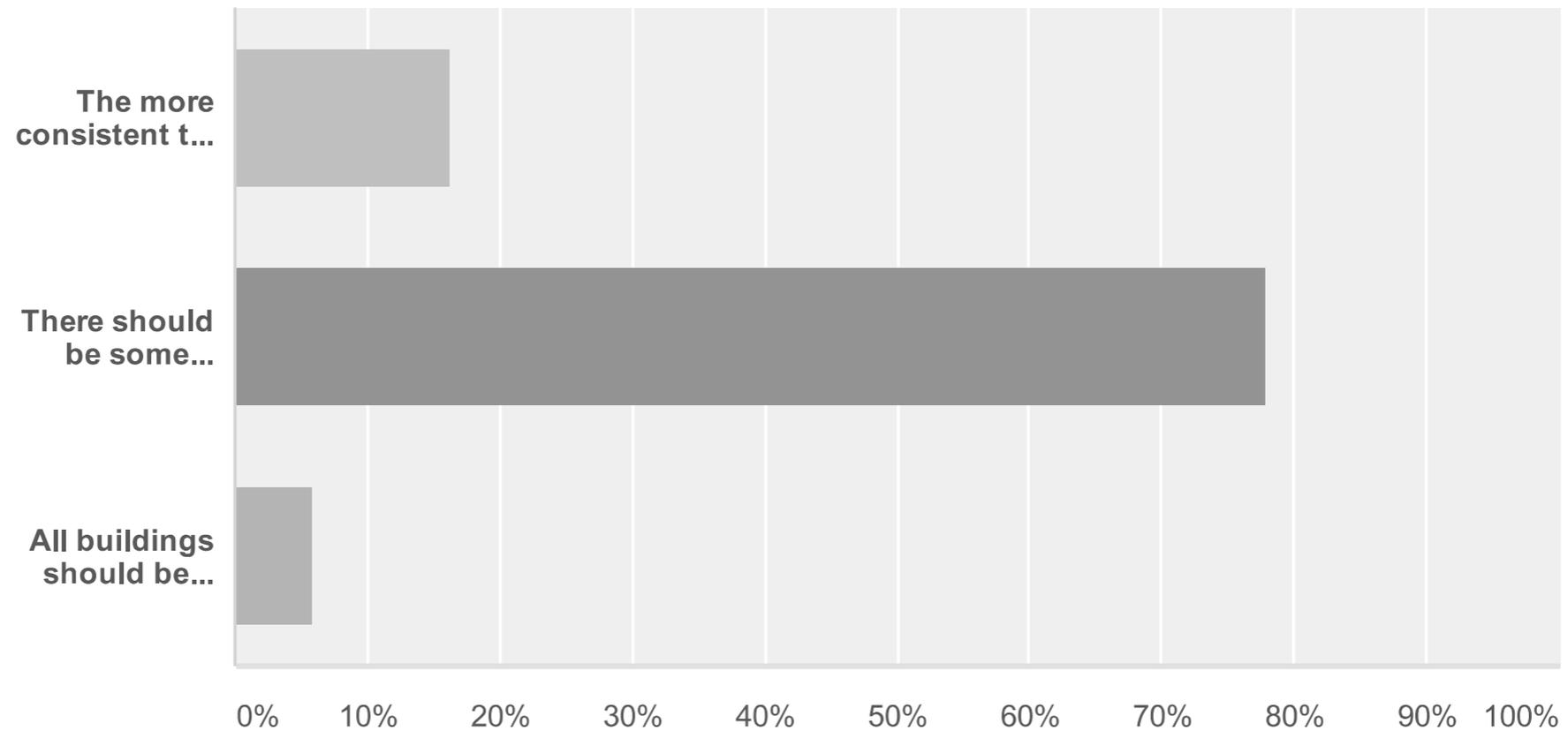
Specific Dislikes

narrow-street
cobblestone
landscaping-needed
limited-parking
shop-windstorm
narrow-sidewalk
concrete
rain-gutter
electrical-lines

General Negative Words

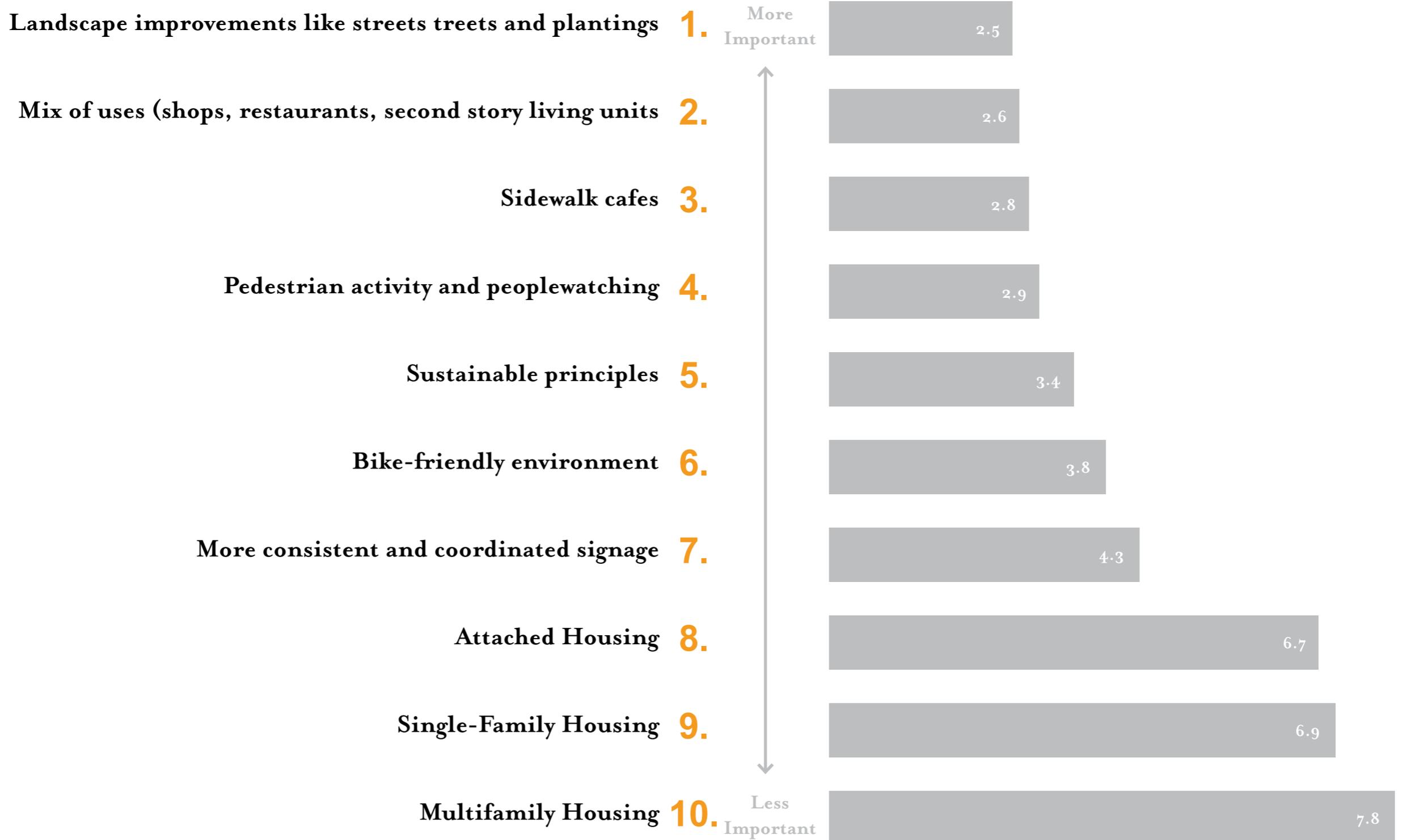
cookie-cutter
modern
uniform
congested
dated
dull
old
crowded
sterile
bland
boring
southampton
east-hampton
bland
busy
hampton
southampton
east-hampton
crowded
dated
old
cluttered
boring
southampton
east-hampton

Which of the following statements most closely matches your future vision for the architecture (form and building character) of downtown Hampton bays?



Answer Choices	Responses
The more consistent the architecture (heights, materials, colors, details), the better.	16.28% 105
There should be some consistency in the architecture, but with some variations, to make it appear as though the architecture evolved over time.	77.83% 502
All buildings should be different from one another.	5.89% 38
Total	645

What would you like to see in downtown Hampton Bays? Rank these in order of importance, with 1 being most important and 10 being least important.



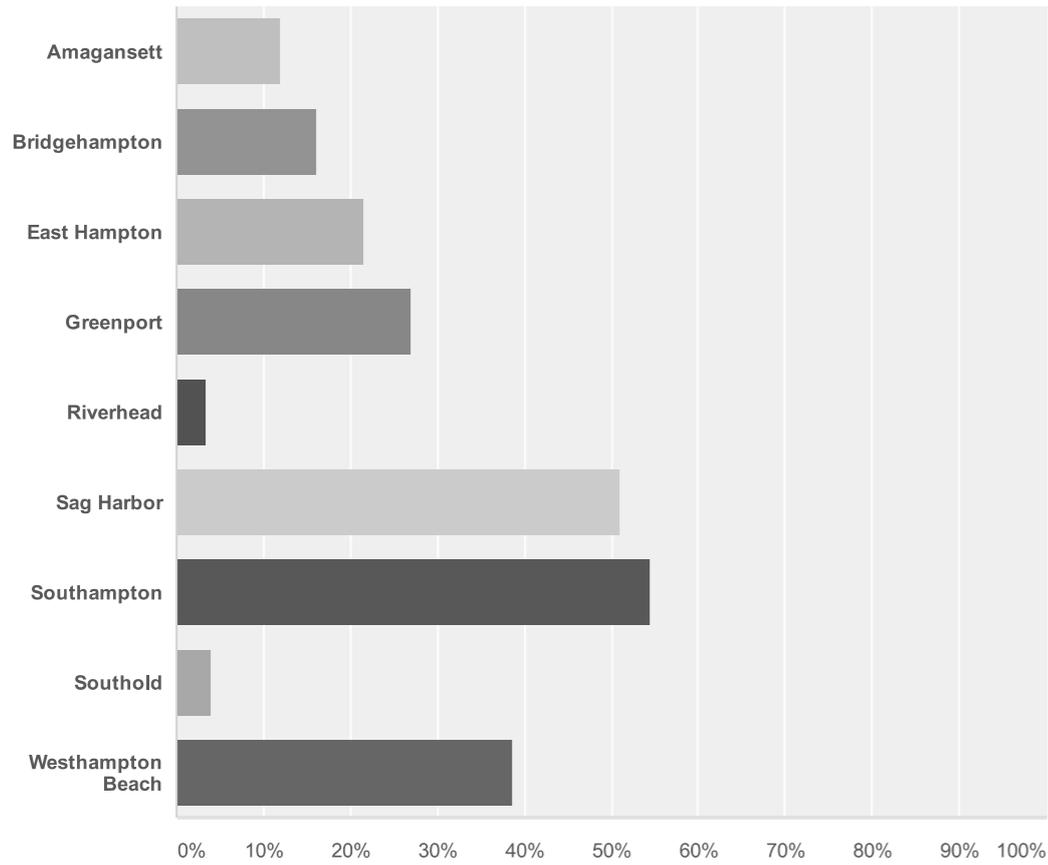
Which of the following storefronts most closely matches your vision for downtown Hampton Bays? Notice the amount of glass, colors, signage, building height and architectural details.

Answer Choices	Responses	
	49.69%	321
	5.11%	33
	19.35%	125
	0.31%	2
	0.31%	2
	8.20%	53
	1.24%	8
	13.62%	88
	2.17%	14



Is there another downtown that embodies the characteristics you would like to see in Hampton Bays? Click all that apply.

Answered: 615 Skipped: 607



Answer Choices	Responses
Amagansett	11.87% 73
Bridgehampton	16.10% 99
East Hampton	21.46% 132
Greenport	26.83% 165
Riverhead	3.41% 21
Sag Harbor	50.89% 313
Southampton	54.47% 335
Southold	4.07% 25
Westhampton Beach	38.70% 238

Total Respondents: 615

Comments (302)



Main Street Form and Scale

Which of the following images most closely match your future vision for downtown Hampton Bays? For this question, only look at the overall character of the street: building heights, widths, variety, and setback from the street (we will ask you about architecture and details later). Select up to 5 images.

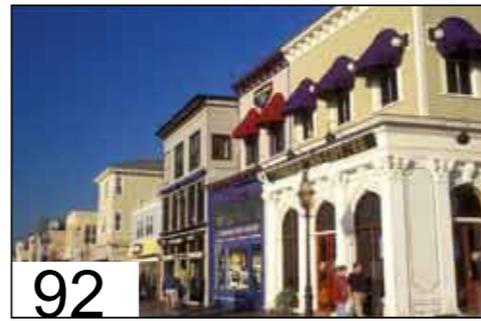
Top 4 images shown below with total vote count.



Main Street Form and Scale

Which of the following images most closely match your future vision for downtown Hampton Bays? For this question, only look at the overall character of the street: building heights, widths, variety, and setback from the street (we will ask you about architecture and details later). Select up to 5 images.

Remaining images shown below with total vote count.



Main Street Buildings and Storefronts

Which of the following images most closely match your future vision for downtown Hampton Bays? For this question, notice the architectural style, materials (brick, stucco, wood siding), colors, signage, number of windows and their proportions, and architectural elements like dormers, cornices, and trim details. Select up to 5 images.

Top 4 images shown below with total vote count.



Main Street Buildings and Storefronts

Which of the following images most closely match your future vision for downtown Hampton Bays? For this question, notice the architectural style, materials (brick, stucco, wood siding), colors, signage, number of windows and their proportions, and architectural elements like dormers, cornices, and trim details. Select up to 5 images.

Remaining images shown below with total vote count.



Streetscape and Landscape

Which of the following images most closely match your future vision for downtown Hampton Bays? For this question, notice the plantings, sidewalk widths and materials, outdoor furniture, parks, and street trees. Select up to 3 images.

Top 4 images shown below with total vote count.



Streetscape and Landscape

Which of the following images most closely match your future vision for downtown Hampton Bays? For this question, notice the plantings, sidewalk widths and materials, outdoor furniture, parks, and street trees. Select up to 3 images.

Remaining images shown below with total vote count.



Summary of Our Observations

The goal of the Pattern Book for the Hampton Bays Downtown Overlay District is to synthesize the past planning initiatives and studies, the local and historical patterns of development, and architectural expressions in order to provide a blueprint for future development. In order to meet this goal, Historical Concepts has determined that the Pattern Book must address:

1. Scope of Development
2. Public Realm
3. Uses
4. Building Massing
5. Architectural Character

Scope of Development

The Pattern Book should define the appropriate scope and intensity of the Downtown Overlay District relative to other towns/villages/hamlets in the area while encouraging development that will maintain and reinforce the character of Hampton Bays.

- o The development patterns must provide a flexible framework which would allow Hampton Bays to adapt to support more or less development in the future.
- o Large-scale development may be more economically viable, but infill development and façade improvements will need to be encouraged to achieve vibrant, walk-able area as desired by survey participants
- o Focusing higher intensity development in the Downtown Overlay District will allow the residential character of the remainder of the Hamlet to be maintained while addressing the demands of population growth and economic development. This approach should also alleviate the development pressures on open space and park land located throughout the Hamlet.
- o Focusing higher intensity development in the Downtown Overlay District is responsible and an efficient use of resources as the transportation infrastructure is already in place to support it (NYS 27, LIRR, Hampton Jitney, Montauk Highway)
- o In order to be sustainable, development must result in a place that is treasured, loved and maintained for generations to come

Hampton Bays Downtown Overlay District



Zoning Boundary **Redevelopment Incentive Overlay District**

Prepared By: The Town of Southampton Division of Geographic Information Systems Date: 02/20/2019 MAP ID: 3187 2014 Aerial Imagery

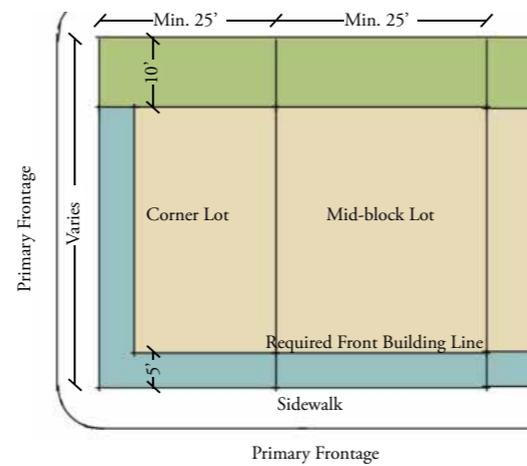
Scale: 1" = 100' 0 50 100 200 300 400 Feet

Not to Scale. This map is for informational purposes only. It is not intended to be used as a legal document. For more information, please contact the Town of Southampton, Division of Geographic Information Systems, 1000 South Hampton Road, Southampton, NY 11969. Phone: 631-882-2200. Fax: 631-882-2201. Email: GIS@townofsothampton.com

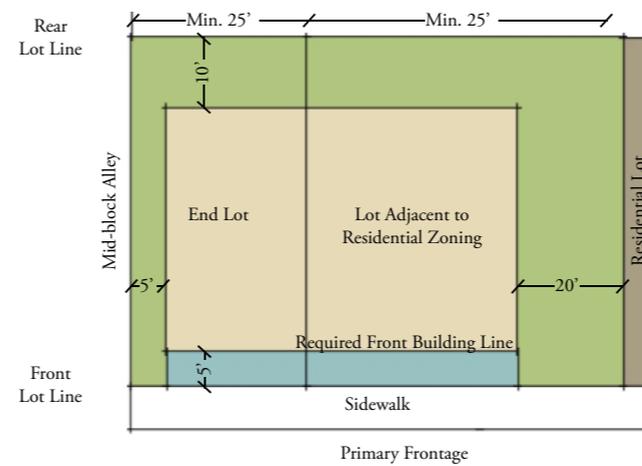
Public Realm

The Pattern Book will describe the essential qualities of a vibrant and comfortable pedestrian experience through increased connectivity, street design, building placement, and landscape regulations.

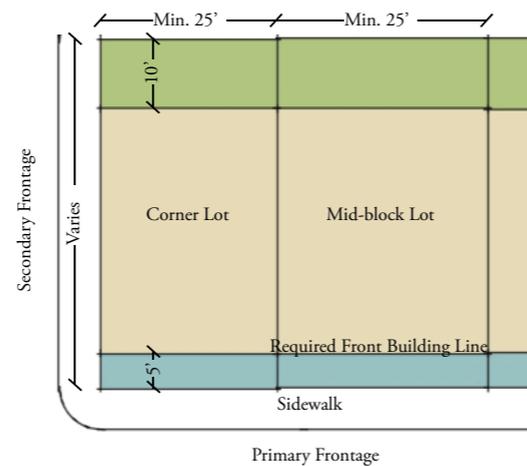
Note: Graphic is a sample page from a previous pattern book for a different town. It is not intended to be applicable to Hampton Bays, and it is utilized here for illustrative purposes only.



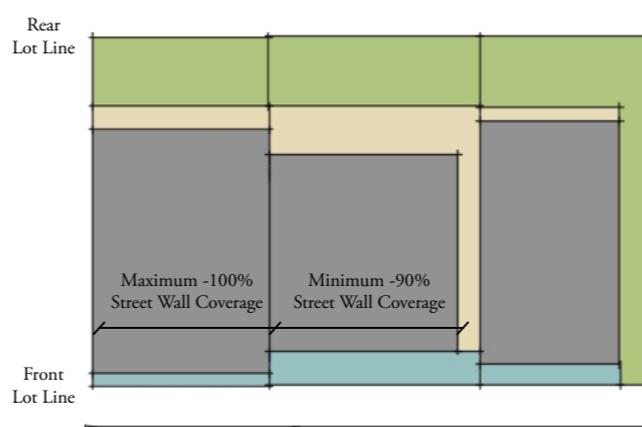
Primary Frontage Corner and Mid-Block Lot Configurations



End Lot Configurations



Primary and Secondary Frontage Corner Lot Configuration



Street Wall Coverage Requirements





HAMPTON BAYS
 BUILDING DENSITY: 1.1/ACRE
 FACADE FREQUENCY: 1/501f
 MAIN STREET BLOCK: 1,187 ft



SOUTHAMPTON
 BUILDING DENSITY: 2.8/ACRE
 FACADE FREQUENCY: 1/251f
 AVG. MAIN ST. BLOCK LENGTH: 352 ft



GREENPORT
 BUILDING DENSITY: 3.5/ACRE
 FACADE FREQUENCY: 1/361f
 AVG. MAIN ST. BLOCK LENGTH: 291 ft



SAG HARBOR
 BUILDING DENSITY: 3.0/ACRE
 FACADE FREQUENCY: 1/231f
 AVG. MAIN ST. BLOCK LENGTH: 425 ft

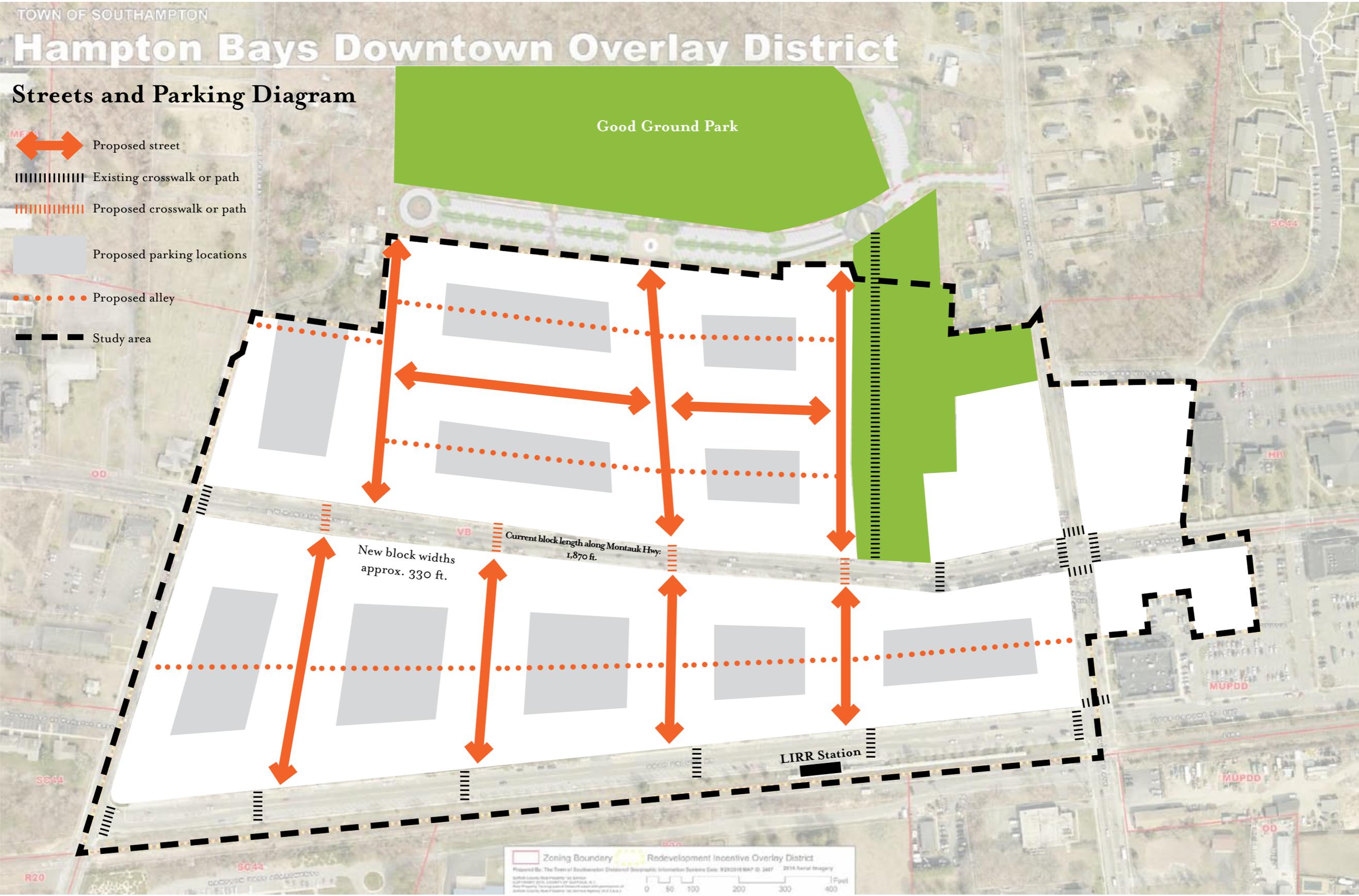
Hampton Bays Downtown Overlay District

Streets and Parking Diagram

- Proposed street
- Existing crosswalk or path
- Proposed crosswalk or path
- Proposed parking locations
- Proposed alley
- Study area



Good Ground Park



New block widths
approx. 330 ft.

Current block length along Montauk Hwy:
1,870 ft.

LIRR Station

Zoning Boundary Redevelopment Incentive Overlay District

Prepared By: The Town of Southampton, Division of Geographic Information Systems Date: 9/20/2018 MAP ID: 2487 2018 Aerial Imagery

Scale: 0 50 100 200 300 400 Feet

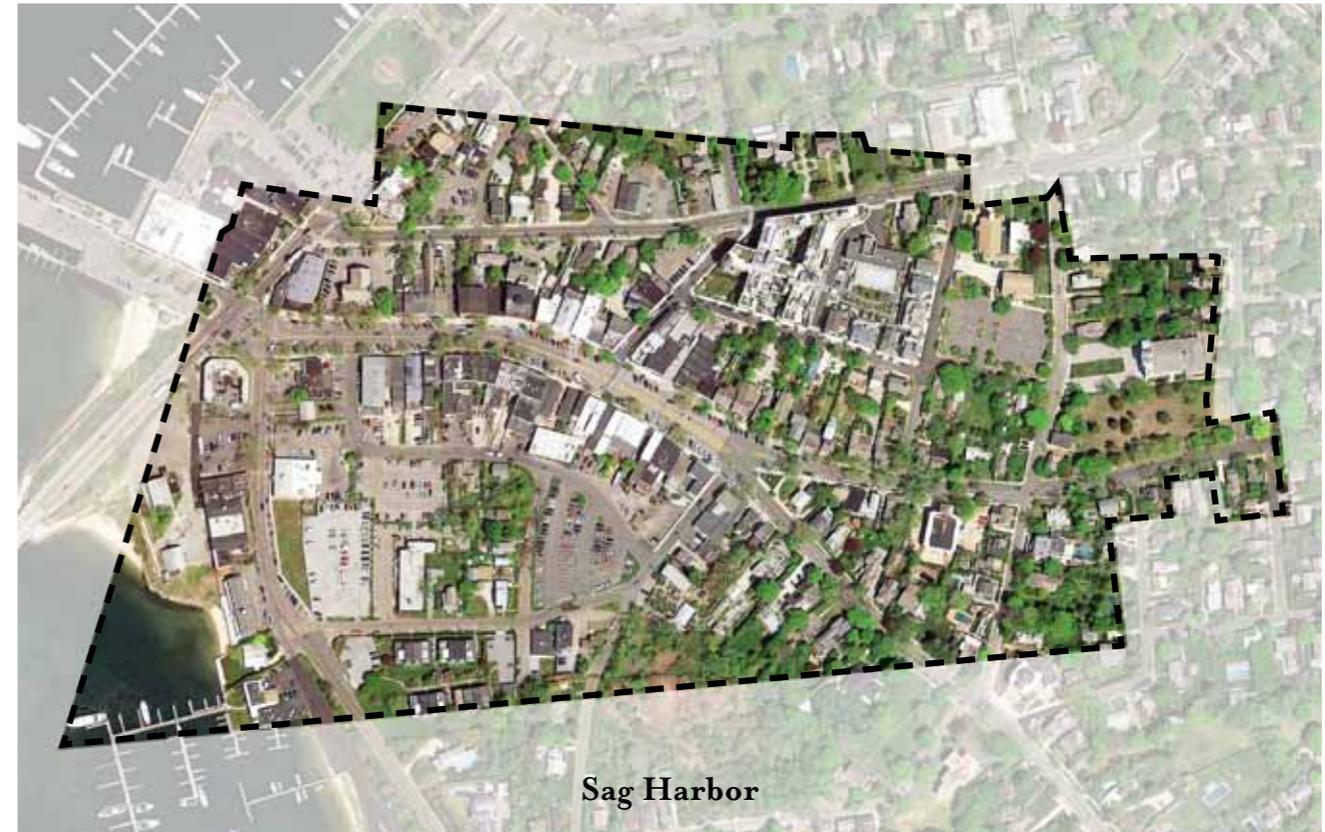
Uses

Uses within buildings may change over time. The Pattern Book will focus on the form and character of buildings that will allow for a flexibility of uses within its structure.



Scale Comparison

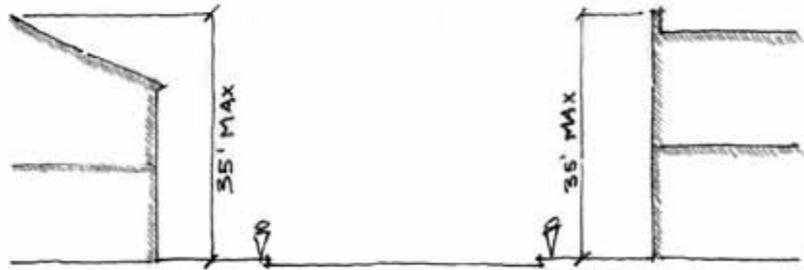
Visualizing the relative size and scale of the Downtown Overlay District of Hampton Bays (indicated by the dashed lines below) overlaid on top of other Long Island towns.



Building Massing

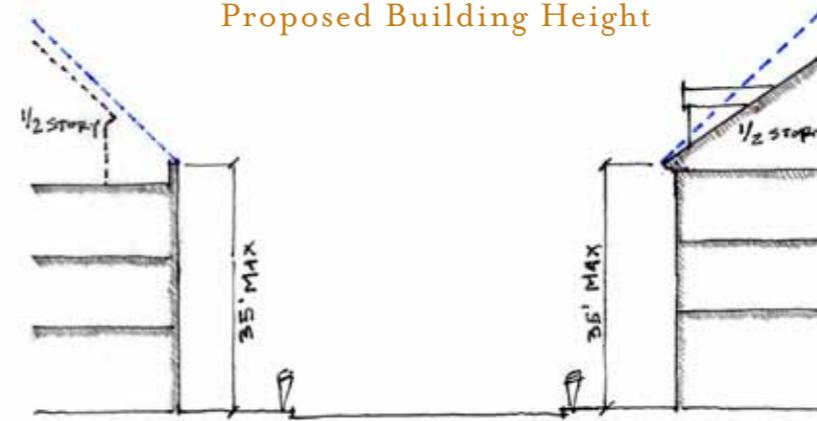
The Pattern Book will provide regulations to ensure traditional building forms provide the framework for a walkable environment while also allowing new development to be economically viable.

Currently Allowed Building Height



Maximum 2 stories or 35 ft. whichever is less.

Proposed Building Height



Good Ground Rd and New Street Frontage:

- Maximum building height of 3.5 stories and 35 ft. as measured from grade at the front facade to top of the eave or parapet.
- 45 degree setback line starting from the eave and angled back [blue line].
- Dormers, cupolas, and chimneys may encroach into the 45 degree setback line. The total linear feet of dormers should be no more than 1/2 the total linear feet of the facade.
- Continuous 3-3.5 story primary frontage should be no more than 60 ft. There should be a minimum of 40 ft. between 3-3.5 story frontages

Montauk Hwy, Springville Rd, Ponquogue Ave, Squiretown Rd Frontage:

- Maximum building height of 2.5 stories and 35 ft. as measured from grade at the front facade to top of roof.



Sag Harbor



Sag Harbor



Greenport

Architectural Character

The Pattern Book will provide regulations for the materials, details, signage, lighting, window patterns, and other architectural elements to maintain the character.

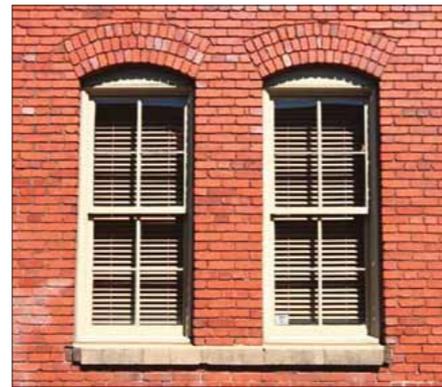
Note: Graphic is a sample page from a previous pattern book for a different town.

It is not intended to be applicable to Hampton Bays, and it is utilized here for illustrative purposes only.

DESIGN STANDARDS & PATTERN BOOK

SOUTHERN MERCANTILE

DESIGN ELEMENTS



Southern Mercantile building openings are one of two types - punched or infill. Punched openings typically occur in the upper stories of mercantile buildings, while the infill is usually used in the ground floor to increase glazing area. The punched openings are large in order to maximize the penetration of light into the building interior. Punched openings can be handled in a variety of ways, but all should be recessed from the wall by at least 4".

The primary design intent is to be functional yet simply adorned in a way that expresses the structural components of the elevation.



DESIGN STANDARDS & PATTERN BOOK

SOUTHERN MERCANTILE

DESIGN ELEMENTS



Southern Mercantile Storefronts are large and can either be infill between masonry piers or punched into the wall plane similar to upper story windows in this style. The storefronts are typically larger in width than height and they contain a majority of glazing punctuated by the entry doors to the interior. Wood or Metal framing up to 12" in width provide the framework for the window sash and doors, which can be a combination of both large and small panes. Although there are many possible successful solutions, the main concepts to maintain are pane proportions between windows and doors and that as one rises in elevation the panes typically decrease in size. Metal columns and entablature can add another layer of scale to the building but are not required. Within the general rectangular openings the entry doors may be placed in any desired composition as symmetry at this smaller scale is less necessary for success - often the entry bay is recessed further into the building than the surrounding windows to create a covered area and to accentuate the entry. Entries should be larger than normal, often exceeding one door in width, and entry doors should be at a minimum 50% glazed. Other building bays may have additional entry points but the main entry should always be clear to the pedestrian.

The simplest way to accomplish this clarity is by placing the store signage directly over the main entry point, either on the awning or applied directly to the wall or entablature above the entry. Larger scale signage to be viewed from afar is best located on the parapet wall surface.



Architectural Character

South Shore Shingle



East End Colonial



Maritime Mercantile



Good Ground Revival



Hampton Bays Downtown Overlay District

