

Town of Southampton

Redevelopment of the Ponquogue Beach Bathing Facility



Public Workshop I



▶ Stakeholder Survey

- questionnaire
- online survey

▶ Public Workshops

▶ Workshops with Town Staff

▶ Redesign Recommendation

▶ Concept Design

Overview of the Process



▶ **Key Site Information**

▶ **History**

▶ **Existing Facility**

▶ **Discussion of Visions
and Goals for the
Future**



- ▶ Ponquogue Bathing Facility: 276 Beach Road, Hampton Bays (SCTM No. 900-379-2-6.1)
- ▶ Located on 9.8 acres of land between Dune Road and the Atlantic Ocean
- ▶ 4.4 Acre Parking Lot with approx 507 parking spaces
- ▶ Three Main Structures on Main Deck Platform with stairs on the North and West sides and disabled ramp located on the south east side of the main deck.
- ▶ Board walk accessing the Atlantic Ocean extends of the South side on the Main Deck

Site Information



Bird's Eye View



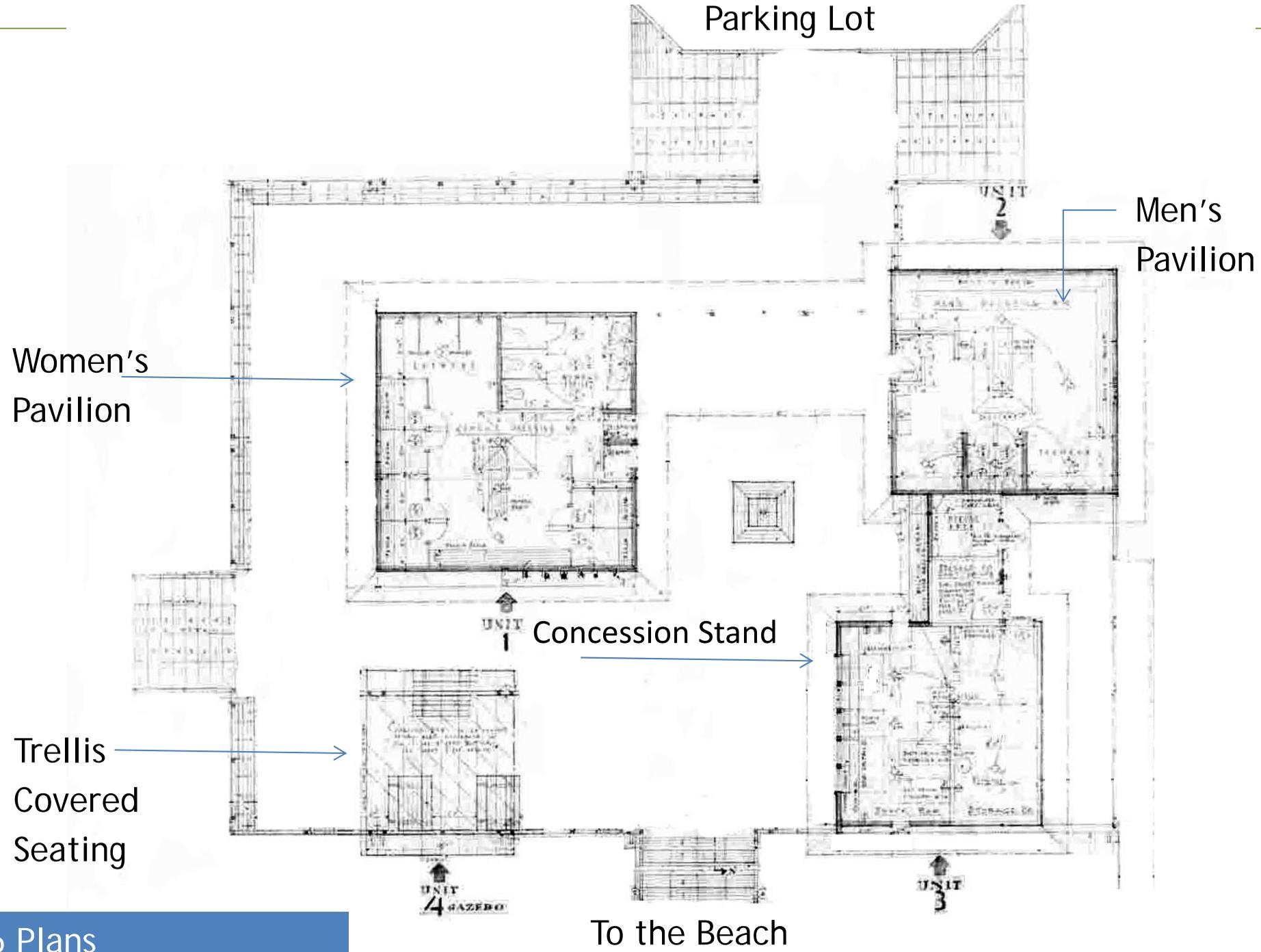
Aerial Map



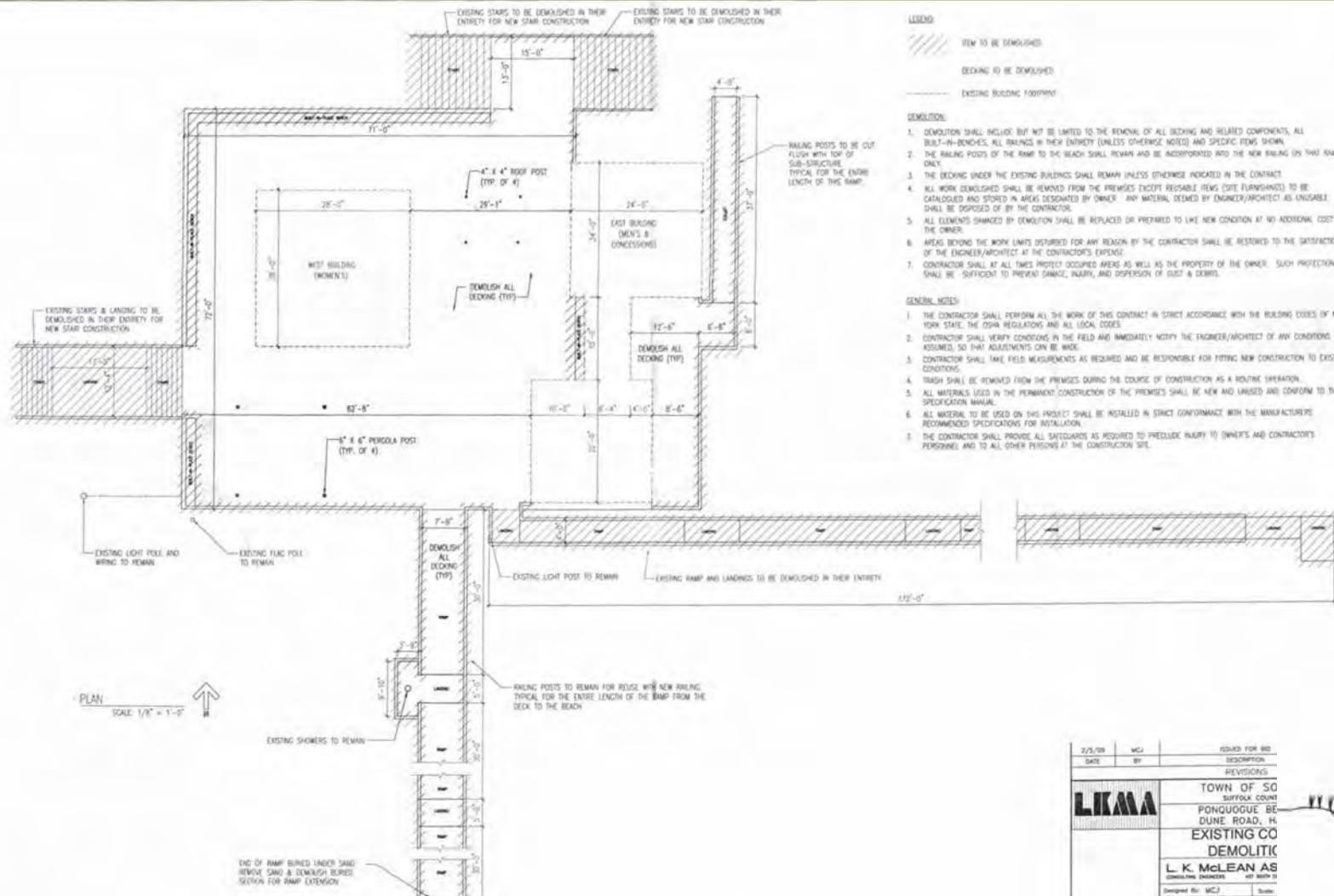
1966 Sketch of Pavilion

- ▶ Site was purchased and improved by Town of Southampton around 1964
- ▶ Facility was built in 1966 from plans prepared by Sears and Sears
- ▶ In 2009 the main deck, handrail and benches were replaced, boardwalk ramp was extended
- ▶ The original Interior layout has been altered. Date unknown.

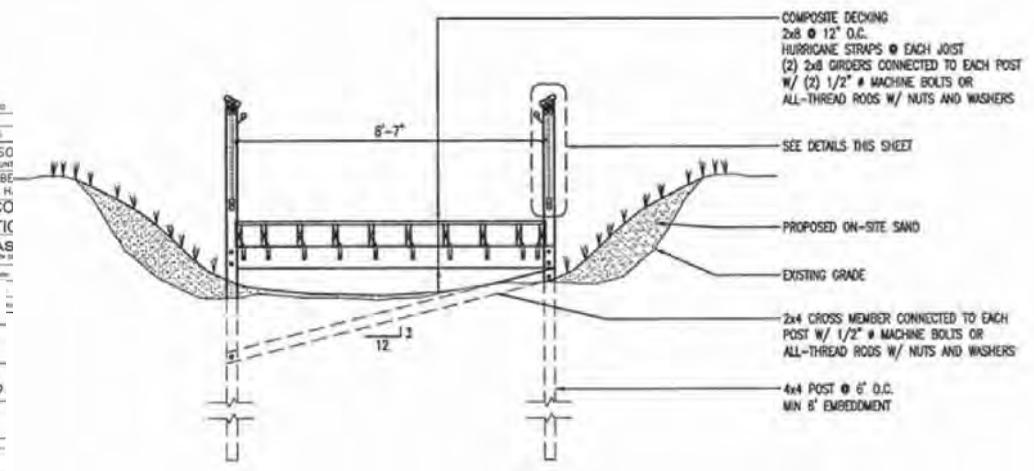
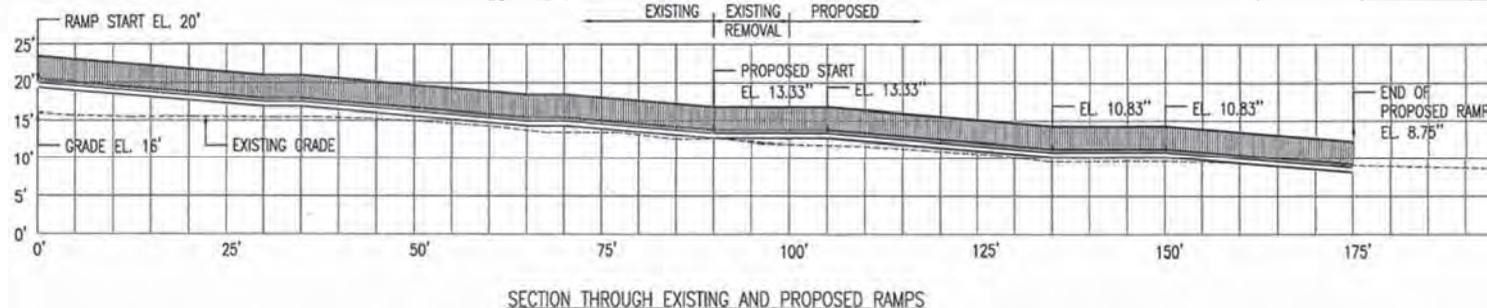
History



1966 Plans



- LEGEND**
- ITEM TO BE DEMOLISHED
 - DECKING TO BE DEMOLISHED
 - EXISTING BUILDING FOOTPRINT
- DEMOLITION**
- DEMOLITION SHALL INCLUDE BUT NOT BE LIMITED TO THE REMOVAL OF ALL DECKING AND RELATED COMPONENTS, ALL BUILT-IN-BENCHES, ALL RAILINGS IN THEIR ENTIRETY (UNLESS OTHERWISE NOTED) AND SPECIFIC ITEMS SHOWN.
 - THE RAILING POSTS OF THE RAMP TO THE BEACH SHALL REMAIN AND BE INCORPORATED INTO THE NEW RAILING ON THIS RAMP ONLY.
 - THE DECKING UNDER THE EXISTING BUILDINGS SHALL REMAIN UNLESS OTHERWISE INDICATED IN THE CONTRACT.
 - ALL WORK DEMOLISHED SHALL BE REMOVED FROM THE PREMISES EXCEPT REUSABLE ITEMS (SITE FURNISHINGS) TO BE CATALOGUED AND STORED IN AREAS DESIGNATED BY OWNER. ANY MATERIAL, DEEMED BY ENGINEER/ARCHITECT AS UNUSABLE SHALL BE DISPOSED OF BY THE CONTRACTOR.
 - ALL ELEMENTS DAMAGED BY DEMOLITION SHALL BE REPLACED OR PREPARED TO LIKE NEW CONDITION AT NO ADDITIONAL COST TO THE OWNER.
 - AREAS BEYOND THE WORK LIMITS DISTURBED FOR ANY REASON BY THE CONTRACTOR SHALL BE RESTORED TO THE SATISFACTION OF THE ENGINEER/ARCHITECT AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR SHALL AT ALL TIMES PROTECT OCCUPIED AREAS AS WELL AS THE PROPERTY OF THE OWNER. SUCH PROTECTION SHALL BE SUFFICIENT TO PREVENT DAMAGE, INJURY, AND DISPERSION OF DUST & DEBRIS.
- GENERAL NOTES**
- THE CONTRACTOR SHALL PERFORM ALL THE WORK OF THIS CONTRACT IN STRICT ACCORDANCE WITH THE BUILDING CODES OF NEW YORK STATE, THE OSHA REGULATIONS AND ALL LOCAL CODES.
 - CONTRACTOR SHALL VERIFY CONDITIONS IN THE FIELD AND IMMEDIATELY NOTIFY THE ENGINEER/ARCHITECT OF ANY CONDITIONS NOT ASSUMED, SO THAT ADJUSTMENTS CAN BE MADE.
 - CONTRACTOR SHALL TAKE FIELD MEASUREMENTS AS REQUIRED AND BE RESPONSIBLE FOR FITTING NEW CONSTRUCTION TO EXISTING CONDITIONS.
 - TRASH SHALL BE REMOVED FROM THE PREMISES DURING THE COURSE OF CONSTRUCTION AS A ROUTINE OPERATION.
 - ALL MATERIALS USED IN THE PERMANENT CONSTRUCTION OF THE PREMISES SHALL BE NEW AND UNUSED AND CONFORM TO THE SPECIFICATION MANUAL.
 - ALL MATERIAL TO BE USED ON THIS PROJECT SHALL BE INSTALLED IN STRICT CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS FOR INSTALLATION.
 - THE CONTRACTOR SHALL PROVIDE ALL SAFEGUARDS AS REQUIRED TO PREVENT INJURY TO (OWNER'S AND CONTRACTOR'S) PERSONNEL AND TO ALL OTHER PERSONS AT THE CONSTRUCTION SITE.



- ▶ Existing wood deck replacement with synthetic material
- ▶ Existing public access boardwalk replaced (approx. 100 ft)
- ▶ Additional 75 In. ft. of new boardwalk to the seaward end was constructed



Historic Photos



EXISTING FACILITY CONDITIONS



▶ Sill Plate – Termite damage

Sill plates



Roof

- ▶ Missing Shingles
- ▶ Mold on North side
- ▶ Original clear Skylight was damaged by Sandy storm and replaced with windows



- ▶ Main Deck Structure - constructed in mid 1960's and substantially unchanged in configuration
- ▶ Piles -Treated Wood Piles – in good condition
- ▶ Pile Caps - overall are in good condition except lower pile caps on East side have termite damage – need replacement
- ▶ Stringers – rotting, termite damaged. Older stringers sistered with new. Termite infestation spreads from old members to new. Stringers were NOT replaced during 2009 renovation

Main Deck Structure



▶ Exterior Decking and Handrail

Decking on open air portion was replaced with synthetic decking during 2009 renovation. Existing synthetic decking has wave on the surface due to inadequate support. Existing stringer spacing was not amended when synthetic decking was installed and is not adequate.

Main Deck Structure - cont.

The existing condition analysis of the presentation based on the Conditions Report prepared by Town of Southampton staff, dated 03-2016



► Interior Decking

Decking on interior portion – was not replaced in 2009 and remains as wood decking. Rot present in some areas.

Main Deck Structure - cont.

The existing condition analysis of the presentation based on the Conditions Report prepared by Town of Southampton staff, dated 03-2016

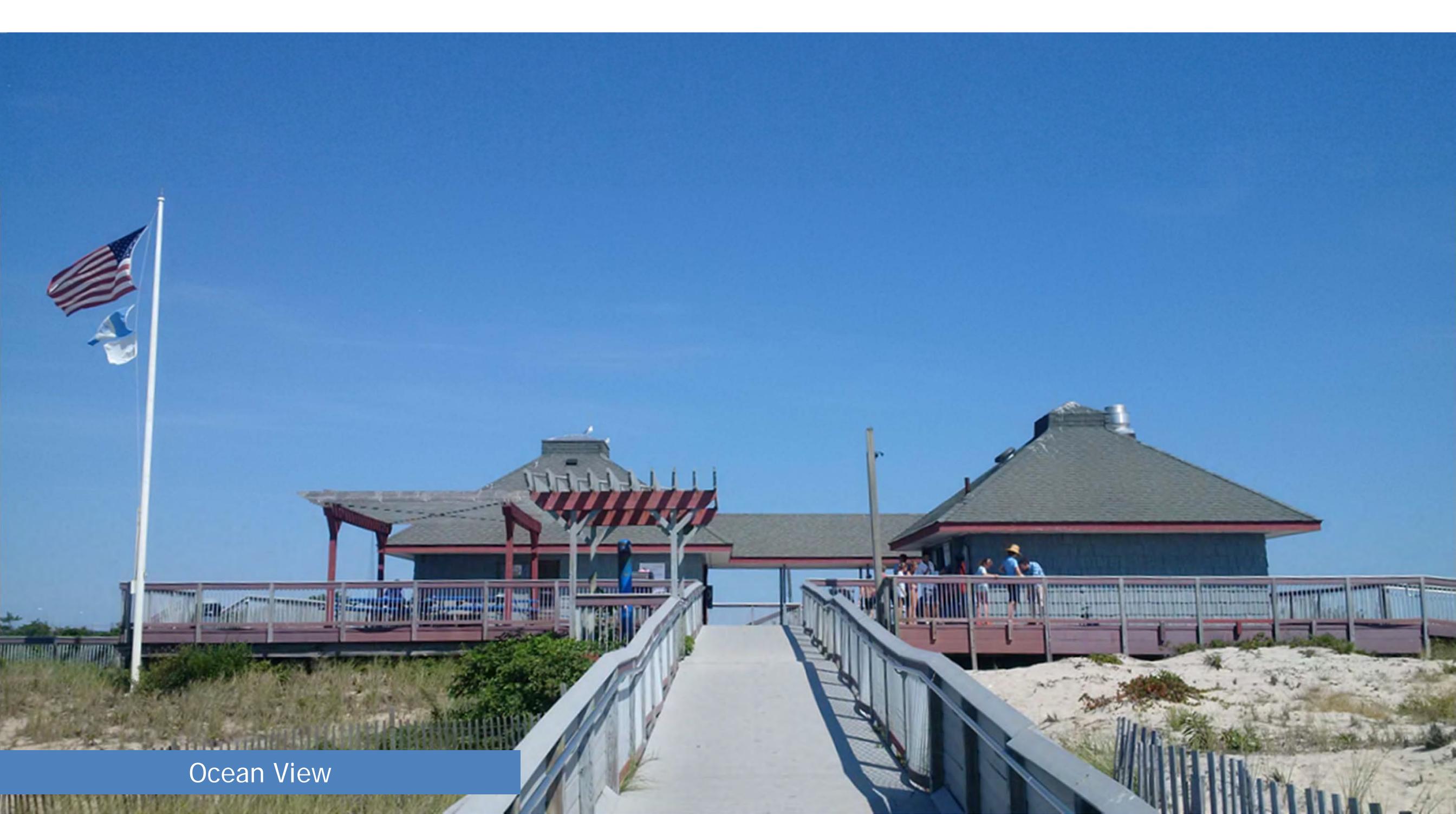


- ▶ N-W Building - 784 sf - Women's bathrooms, Lifeguard Station with storage and bathroom
- ▶ N-E Building - 576 sf - Men's Bathrooms, Lifeguard storage
- ▶ S-E Building - 484 sf - Snack Bar and Storage room
- ▶ Breezeway between N-E and S-E include refuse area and storage room for soft drinks
- ▶ Trellis covered seating (Picnic Tables and benches) on main deck
- ▶ Parking lot with guard booth

EXISTING FACILITY

Ramp to Ocean





Ocean View

Entrance and Parking



Parking lot and Appro



Entrance and Parking



Entrance from Parking Lot

Restrooms and Showers /
Changing Rooms

- ▶ N-W Building -
Women's bathrooms,
6 toilets
3 sinks

Lifeguards station,
1 toilet
1 sink

- ▶ N-E bathroom - Men's Bathrooms,
4 toilet
4 urinals
2 sinks

- ▶ S-E building - Concession area has
hooded ventilation

- ▶ Outdoor rinse-off showers on
boardwalk



Existing Plumbing Facility



Women's Pavilion



Men's Pavilion



Change Rooms



Change Rooms

Seating



Seating



Seating

Dining and Rentals



Trellis-Covered Picnic



Trellis-Covered Picnic



Parking and Access



**Restrooms, Showers
(Changing Rooms,
Lockers)**



**Food, Beverage, Rentals
(Bar, Indoor Dining, After
Hours)**



**Seating – Indoor and
Outdoor**



Other items:
Lockers, Indoor Dining,
Bar, After Hours,
Sustainability



THANK YOU