

Town of Southampton

Redevelopment of the Ponquogue Beach Bathing Facility



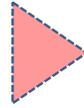
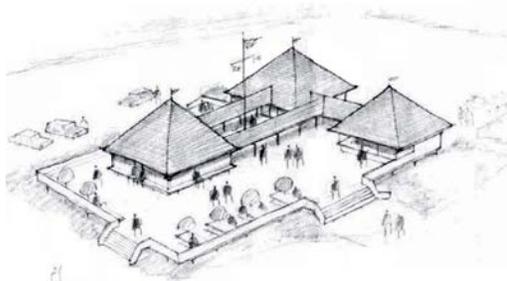
Town Board Work Session II

KEY REDEVELOPMENT GOALS

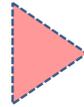


- ▶ **Seek Community Input**
- ▶ **Address Deficiencies**
- ▶ **Propose New Features**
- ▶ **Promote Sustainability**

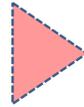
Overview of the Process



Stakeholder Survey
- Beach Questionnaire
(Aug. 26 & 27)
- Online Survey
(Sept & Oct)



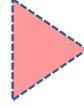
Public Workshop I (Sept 28, 2016)



Work Session I with Town Board (Oct 27, 2016)



Preliminary Concept Design (Nov 15, 2016)



Public Workshop II (Nov. 15, 2016)



Work Session II with Town Board (Feb. 9, 2017)



Final Concept Design (Feb 2017)

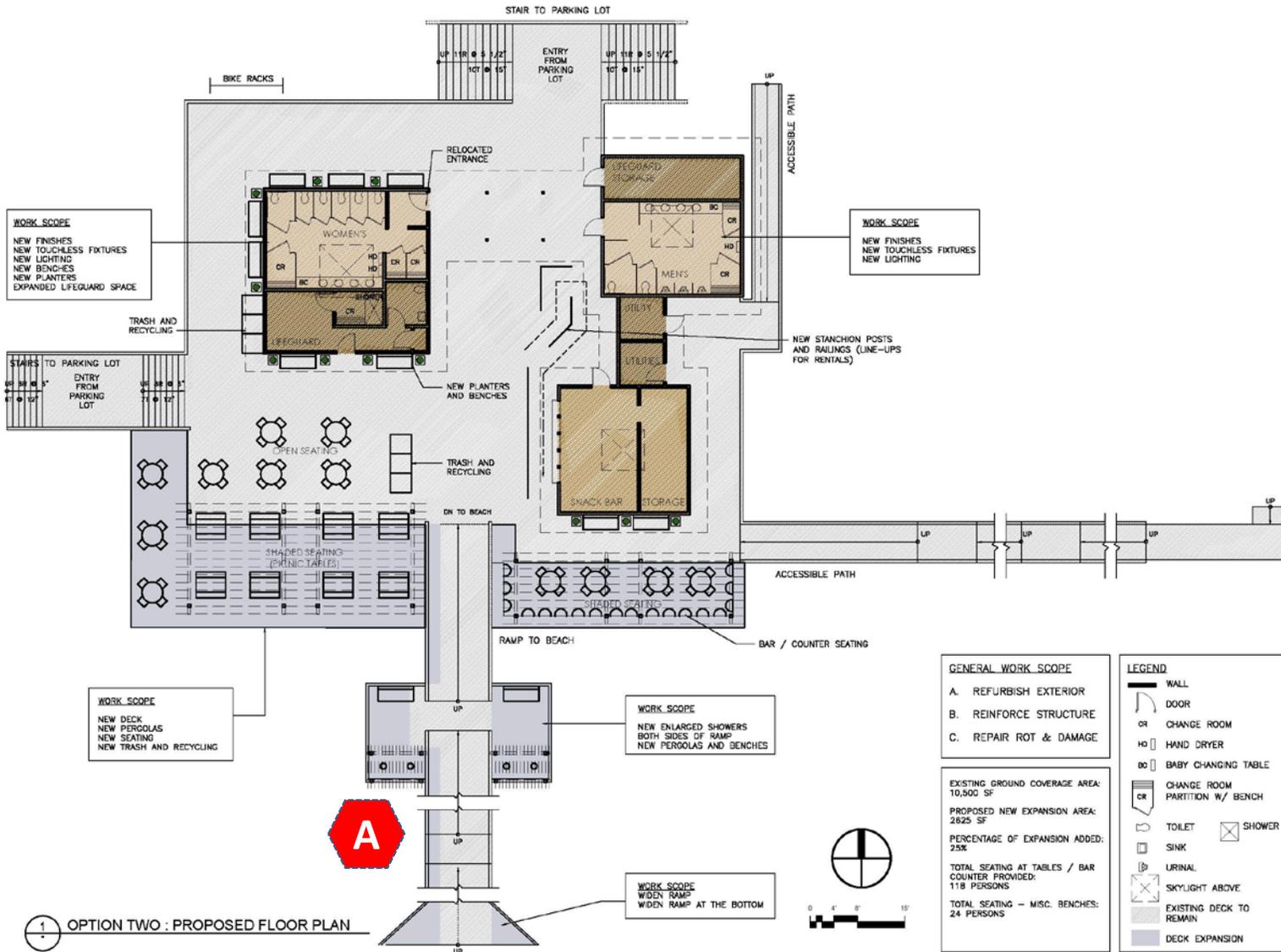
KEY SITE INFORMATION



- ▶ 9.8 acres of land
 - ▶ 507 parking spaces
 - ▶ Land purchased by Southampton in 1964
 - ▶ Building built in 1966; Partially renovated in 2009
- Currently:
- ▶ Town Zone: OS7 “Open Space Conservation”
CEZ “Coastal Erosion Zone”
Limited to 25% expansion
 - ▶ FEMA: VE-16 and AE-8 Zone – complies after transformer height adjustment
 - ▶ Wetlands: Outside US ACOE Estuarine and Marine wetlands

- ▶ Maintain Low-Key, Family Beach, in a Natural Setting
- ▶ Upgrade materials and structures
- ▶ Provide minimal increase in size where needed
- ▶ Improve overall accessibility features
- ▶ Add sustainable features where appropriate

REDEVELOPMENT - Option Two



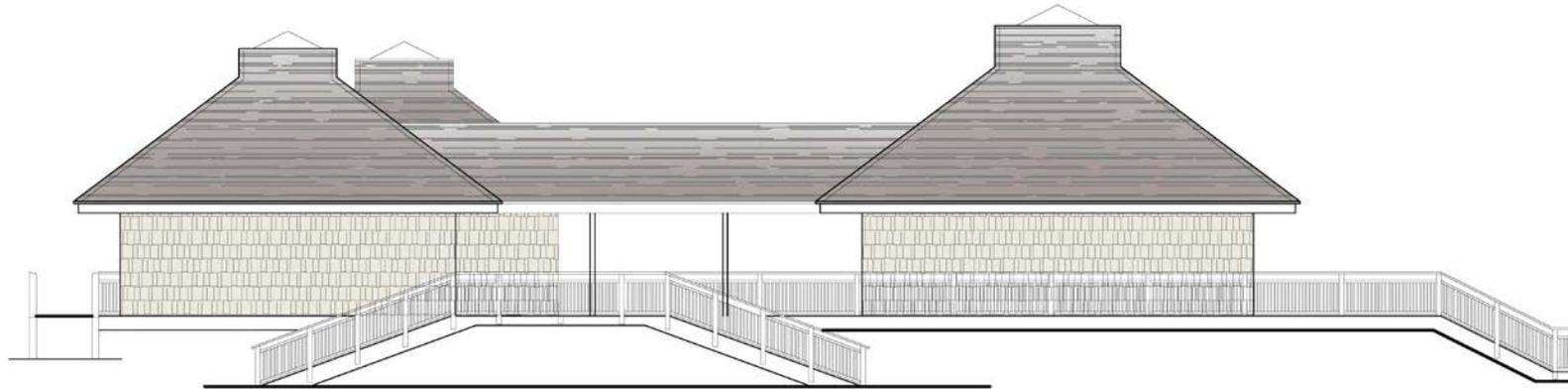
A Wider Ramp

1 OPTION TWO : PROPOSED FLOOR PLAN

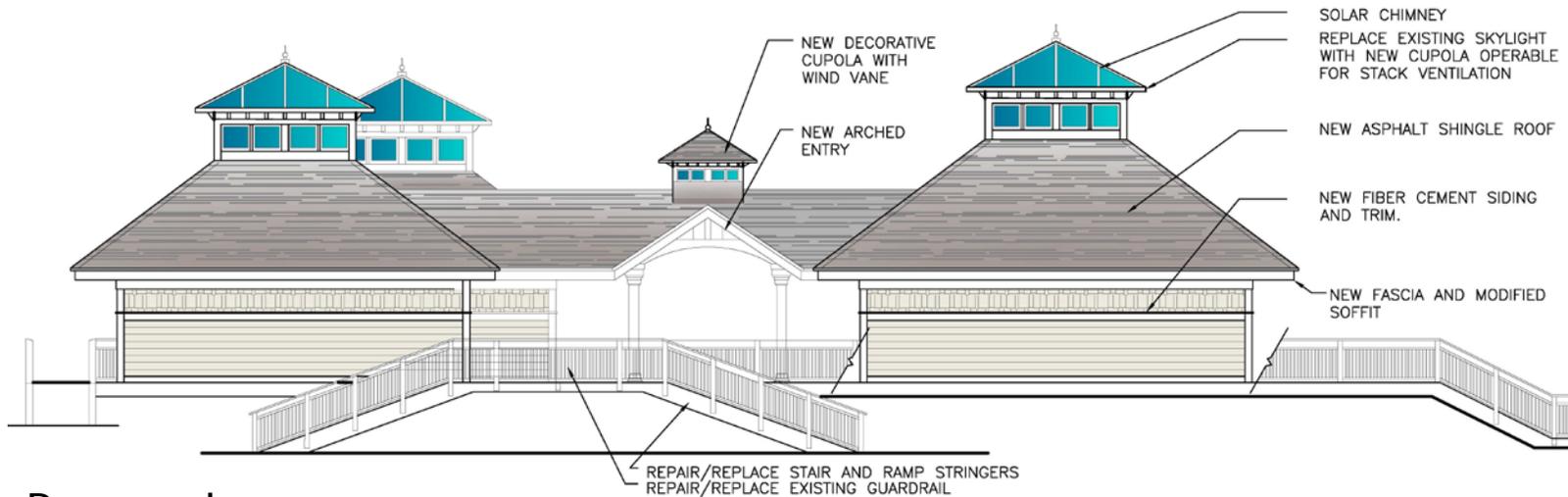
| | | | |
|--|--|--|--|
| GENERAL WORK SCOPE A. REFURBISH EXTERIOR B. REINFORCE STRUCTURE C. REPAIR ROT & DAMAGE | | LEGEND WALL DOOR CR CHANGE ROOM HD HAND DRYER BC BABY CHANGING TABLE CR CHANGE ROOM PARTITION W/ BENCH TOILET SINK URINAL SKYLIGHT ABOVE EXISTING DECK TO REMAIN DECK EXPANSION | |
| EXISTING GROUND COVERAGE AREA: 10,500 SF PROPOSED NEW EXPANSION AREA: 2625 SF PERCENTAGE OF EXPANSION ADDED: 25% TOTAL SEATING AT TABLES / BAR COUNTER PROVIDED: 118 PERSONS TOTAL SEATING - MISC. BENCHES: 24 PERSONS | | | |

REDEVELOPMENT

EXTERIOR - Parking Side - Option One



Existing



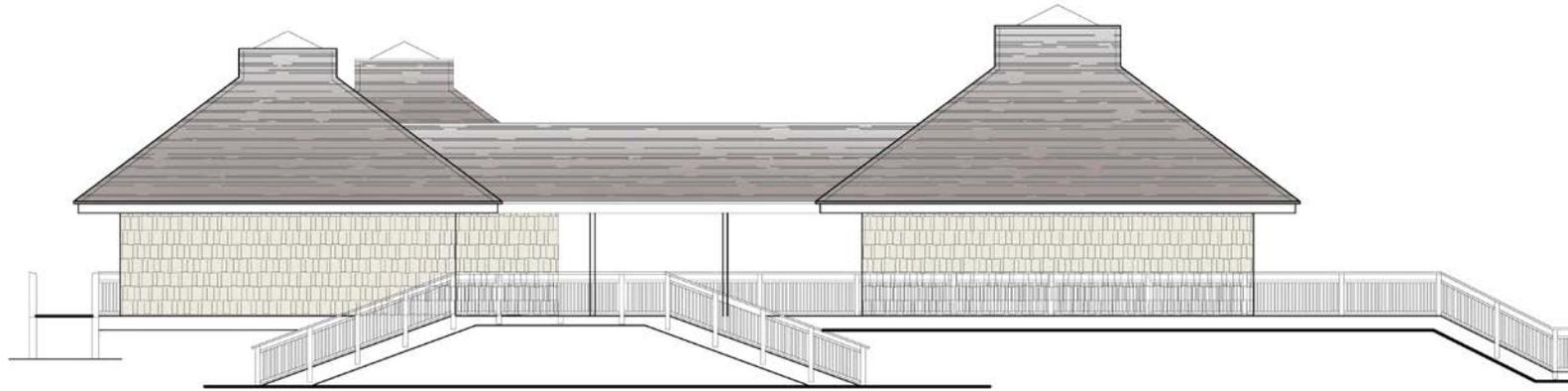
Proposed

Key Features Respondents Asked For:

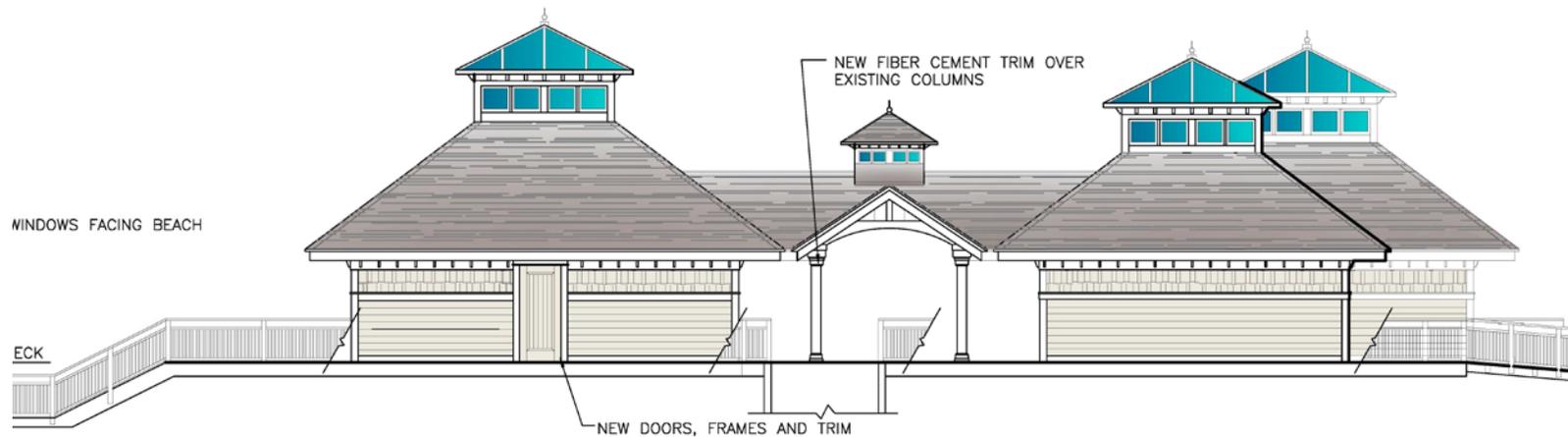
- A** Upgrade exterior – keep it traditional
- B** Replace siding with Hardieplank
- C** New fascia, trim, decorative brackets,
- D** Repair or replace existing stair and ramp stringers, guardrails
- E** Replace and upgrade doors and windows
- F** Replace existing skylight with new cupola operable for stack ventilation
- G** New asphalt shingle roof
- H** New arched entry

REDEVELOPMENT

EXTERIOR - Ocean Side - Option One



Existing (Similar)



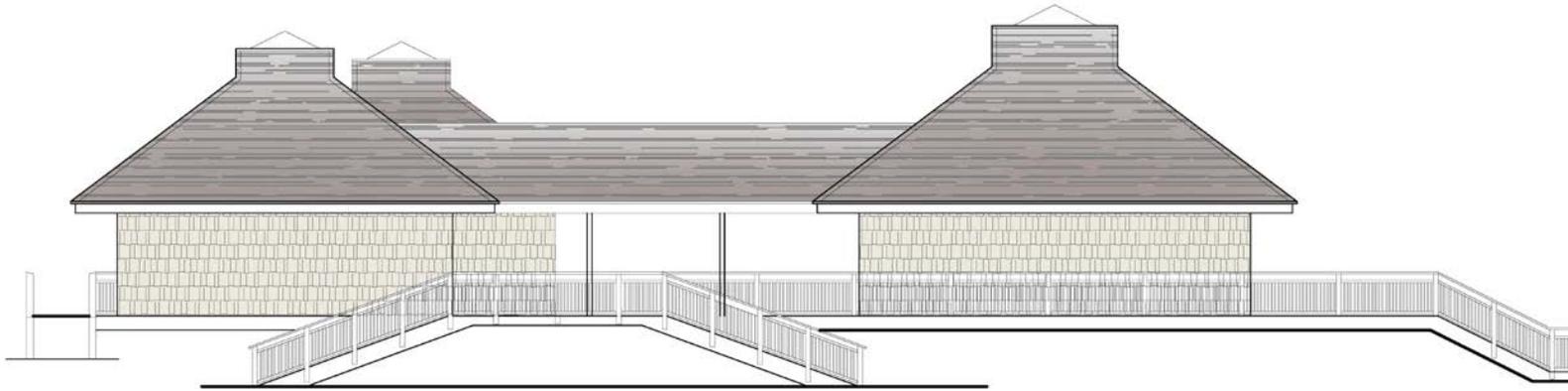
Proposed

Key Features Respondents Asked For:

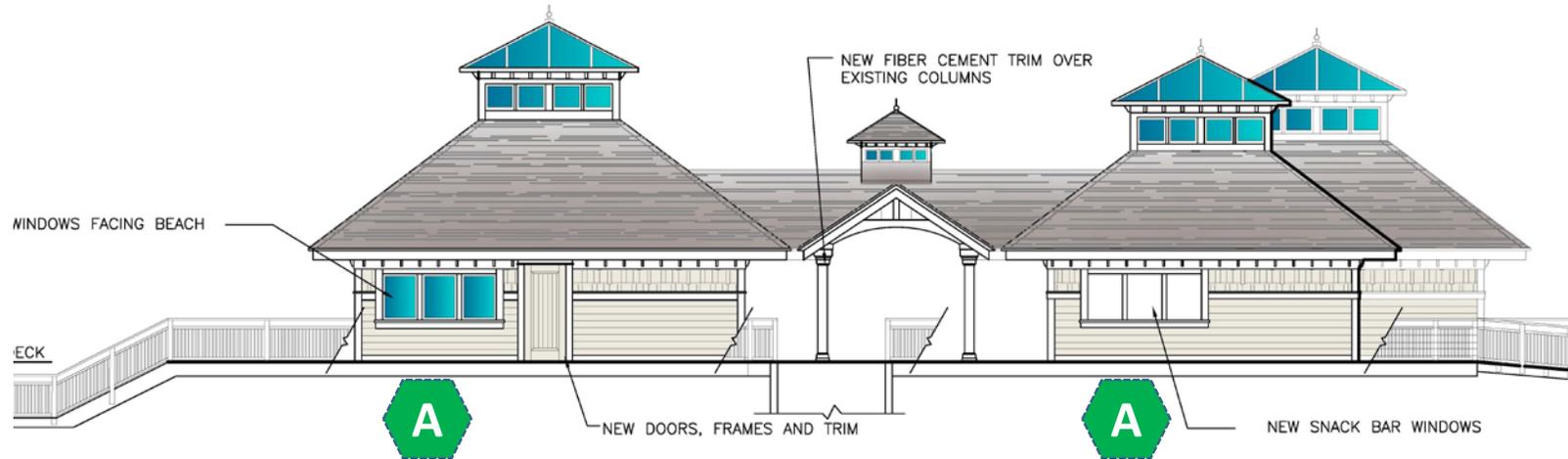
- A** Upgrade exterior – keep it traditional
- B** Replace siding with Hardieplank
- C** New fascia, trim, decorative brackets,
- D** Repair or replace existing stair and ramp stringers, guardrails
- E** Replace and upgrade doors and windows
- F** Replace existing skylight with new lantern operable for stack ventilation
- G** New asphalt shingle roof
- H** New arched entry

REDEVELOPMENT

EXTERIOR - Ocean Side - Option Three



Existing (Similar)



Add windows to life-guard station
Add openings/shutters to the snack-bar, both facing the ocean

Proposed

REDEVELOPMENT SEATING / RAILING



▶ Ipe Decking

▶ Ipe Railings

REDEVELOPMENT EXTERIOR

Upgrade Building Exterior:

- ▶ Upgrade exterior appearance while keeping the building traditional and simple
- ▶ Replace exterior siding with new fiber cement shakes with factory finish, or consider other sustainable exterior materials
- ▶ Replace and upgrade doors and windows



REDEVELOPMENT INTERIORS

Interior Upgrades:

- ▶ Replace floor and wall finishes
- ▶ Replace lighting and improve ceiling
- ▶ Replace fixtures with touchless faucets and dryers
- ▶ Consider Waterless Urinals and Toilets



BEFORE



ALTERNATE



REDEVELOPMENT REPAIRS

Repair deterioration:

- ▶ Termite damage on building sills, pile caps and stair stringers
- ▶ Replace interior decking



REDEVELOPMENT SITE



Key Features Respondents Asked For:

- A** Extend ramp and handrails
- B** Improved landscaping
- C** Improved fencing
- D** New signage
- E** Correct ponding
- F** Seal parking lots and re-stripe

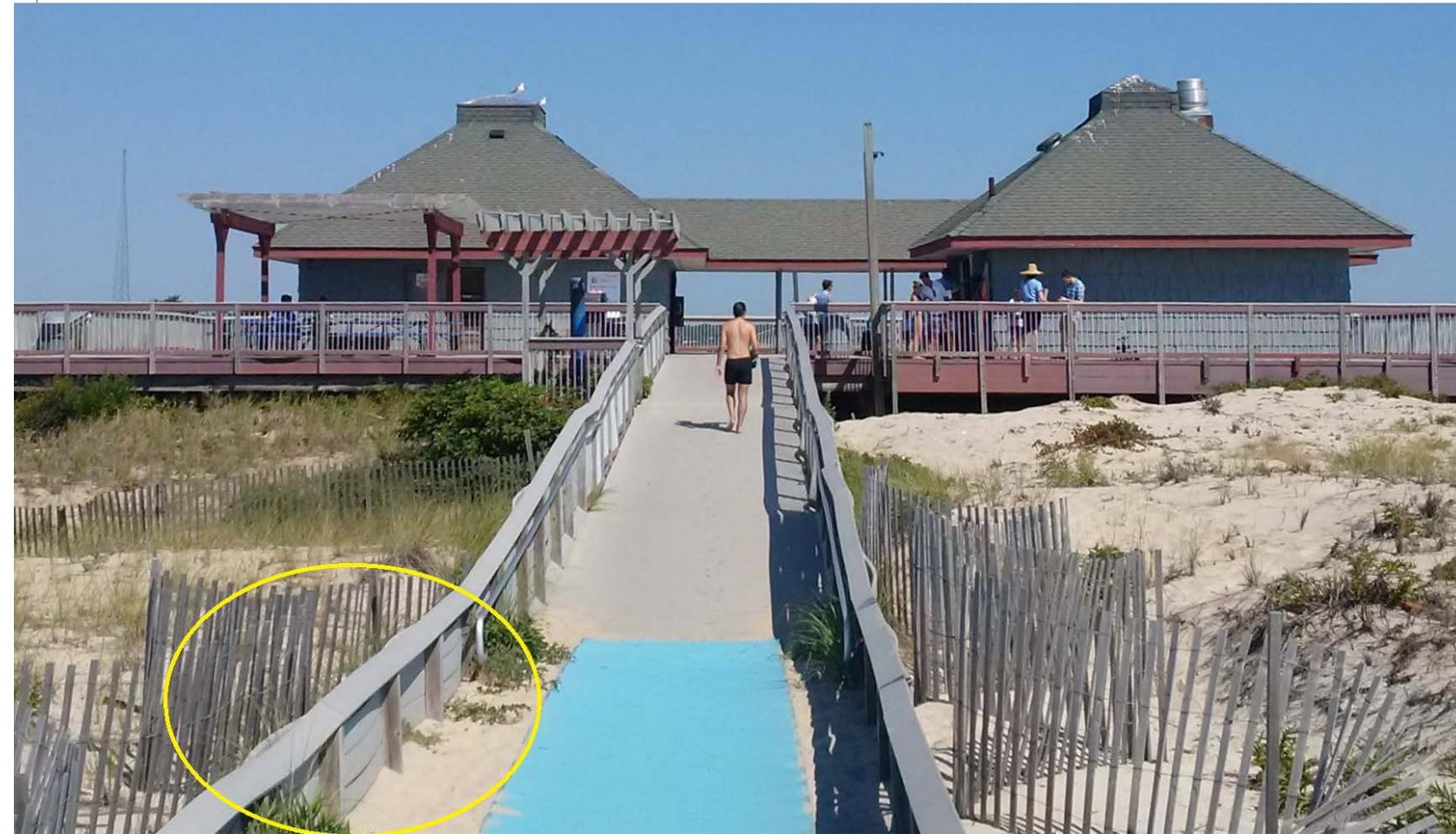
Provide WI-FI

Existing utilities to remain



REDEVELOPMENT

BUILDING RENOVATION CONSIDERATIONS



Improve beach access for the elderly:

- ▶ Extending the ramp
- ▶ Extend ramp railing

REDEVELOPMENT SITE RENOVATION CONSIDERATIONS

Lighting:

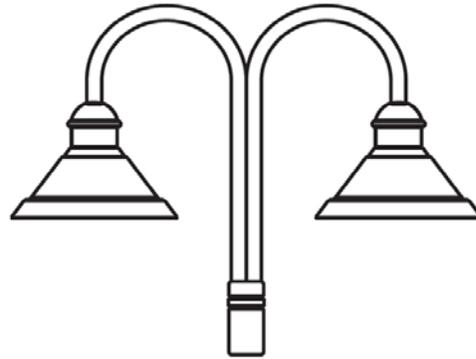
- ▶ Upgrade lighting with Dark-Sky fixtures
- ▶ Keep light pollution minimal and limited to security and safety concerns



REDEVELOPMENT SITE RENOVATION CONSIDERATIONS

▶ Building Surrounds:

Upgrade landscaping
and fencing for improved
appearance



BEFORE





Building Surrounds:

Upgrade landscaping and fencing for improved appearance

