

HAMLET OF RIVERSIDE
Town of Southampton



DRAFT Riverside Overlay District

Section 330-400 to 330-420



TOWN OF SOUTHAMPTON

OCT
2015

RIVERSIDE OVERLAY DISTRICT

Town of Southampton

Town of Southampton
Local Law No. _____ of the Year 2015

A Local Law amending Chapter 330 of the Code of the Town of Southampton, "Zoning," amending the Zoning Map and adding a new Article XXXI, to implement form-based zoning for the purpose of revitalizing the Hamlet of Riverside.

BE IT ENACTED by the Town Board of the Town of Southampton as follows:

Section 1. Chapter 330, "Zoning," is hereby amended by adding the Riverside Overlay District (ROD) in Section 330-400 containing the following districts:

- Riverside Hamlet Center RO-1
- Riverside Hamlet Neighborhood RO-2
- Riverside Special District RO-3
- Riverside Gateway District RO-4
- Riverside Suburban District RO-5
- Riverside Waterfront District RO-6
- Riverside Parkland District RO-7

Section 2. Chapter 330, "Zoning," is hereby amended by adding after Section 330-363, the following new Article XXXI, Sections 330-400 through 330-420, annexed hereto as Attachment A.

Section 3. The Zoning Map of the Town of Southampton is hereby amended to indicate the existence of the Riverside Overlay Districts noted above, as shown on Attachment B annexed hereto.

Section 4. This local law shall take effect immediately upon filing with the New York State Secretary of State.

ATTACHMENT A

Town of Southampton

RIVERSIDE OVERLAY DISTRICT ZONING AMENDMENTS

AMENDMENTS TO THE CODE OF THE TOWN OF SOUTHAMPTON, NY

- 1. ADD A NEW CHAPTER 330, SECTION 400, AS FOLLOWS:**

ARTICLE XXXI, TOWN OF SOUTHAMPTON RIVERSIDE OVERLAY DISTRICT

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SECTION 330-400 AUTHORITY

Section 330-400 Authority. This article XXXI (hereinafter the “Article”) is adopted as a local law pursuant to, inter alia, the New York State Constitution, Article 9, §2(B)(3); New York State Statute of Local Governments, §10, Subdivision 6; and New York State Municipal Home Rule Law §10, Subdivision 1(ii)A(11), §10, Subdivision 1(ii)A(12), and §10, Subdivision 1(ii)D(3), and Article 16 of the New York State Town Law, including but not limited to §§261, 261-a and 261-b. It shall amend and, to the extent necessary, supersede any provisions of Article 16 of the New York Town Law, as well as any other sections of the Town Law with which it may be inconsistent.

SECTION 330-401 INTENT AND PURPOSE

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| <p>A. This Article regulates the location, design, construction, alteration, occupancy, and use of structures and the use of land within the area known as the “Riverside Overlay District” (hereinafter “ROD”) within the Town of Southampton. The Riverside Overlay District is hereby divided into seven Overlay Zones designated as RO-1, RO-2, RO-3, RO-4, RO-5, RO-6, RO-7 from which specific regulations are included in this Article.</p> <p>B. This Article is intended to promote the health, safety and general welfare of the Town by creating a holistic and comprehensive economic development strategy that utilizes the principles of social, economic and environmental responsibility to reestablish the hamlet of Riverside as a center of vibrancy within a mixed-use, transit oriented setting. This Article is intended to create an opportunity for a more economically successful and environmentally responsible hamlet center with a more harmonious and pedestrian-oriented public realm than can be achieved under the regulations in the underlying zoning in effect at the time of adoption of this Article.</p> <p>C. The primary purpose of this Article is to institute a legally enforceable form-based code within the ROD zones, based upon the Town of Southampton Comprehensive Development Plan Update dated March 1999 (hereinafter “the Comprehensive Plan”); Urban Renewal Plan dated December 2009; Flanders, Northampton, Riverside Revitalization Study dated March 2004; Southampton 400+ Sustainability Element dated November 2013; Riverside Revitalization Action Plan and Zoning Standards Map Section 330-407, dated July 2015. This Article establishes development rules and procedures that will result in compact and walkable transit-oriented mixed-use development accessible on foot to the train station in Riverhead.</p> <p>D. This Article is further intended to implement a streamlined process of development application review and approval based upon compliance with this Article in order to expedite economic development that fulfills the purposes of this Article.</p> | <p>E. The goals and objectives of the ROD are to:</p> <ol style="list-style-type: none"> (1) Expand employment opportunities throughout the hamlet center and surrounding area. (2) Encourage green building design, including sustainable technologies such as rooftop gardens and agriculture, stormwater management, photovoltaic energy sources and other renewable energy and water and energy conservation technologies. (3) Ensure the inclusion of a range of quality public parks and open spaces. (4) Promote sustainable and mixed-use development that creates a network of connected streets, parks, walkways and vibrant street-level storefront commerce that will provide for an activated environment along with a sense of security and safety. (5) Transform underutilized and underperforming properties in the hamlet overlay. (6) Reduce automobile dependency by creating a compact, pedestrian oriented, mixed-use environment. (7) Provide sufficient building densities and land uses within walking distance from the Hamlet Center. (8) Leverage the extraordinary access to existing rail and bus transit by linking land use with transportation. (9) Provide for a diverse mix of residential living choices. (10) Create incentives to concentrate development in the downtown core and within ¼ mile of the traffic circle, in walking distance from the Riverhead train station. (11) Promote civic, institutional, commercial, retail, hospitality, entertainment, recreational and |
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SECTION 330-401 INTENT AND PURPOSE (continued)

residential activity throughout the hamlet core districts.

- (12) Provide public access to riverfront.
- (13) Encourage participation by private property owners using Riverside Incentive Bonuses (RIBs) within the ROD to make use of the provisions of this Article by:
 - (a) Providing a mechanism for smaller properties that would otherwise be unable to meet the necessary development thresholds of this Article, to participate in collaborative development efforts through the formation of property owner alliances.
 - (b) Allowing for greater densities and building heights.
 - (c) Expanding the range of uses allowed.
 - (d) Reducing parking requirements.
 - (e) Allowing payments in lieu of required on-site parking spaces.
 - (f) Providing shared parking opportunities.
 - (g) Allowing payments in lieu of parks and open space requirements.
 - (h) Providing for shared parks and open space opportunities.
 - (i) Providing an expedited review and approval process.

- F. This Article institutes a comprehensive system of form-based regulation within the ROD that is intended to be as user-friendly as possible. To that end, this Article contains some provisions that are partially duplicative of other sections of the Town of Southampton Zoning Law. This is done intentionally to make this Article largely self-contained, which will enable users to find as much information as possible in one place, reducing the need to cross-reference other sections of the zoning law. The conceptual framework of this form-based overlay zoning is fundamentally different from the zoning framework of the underlying Town zoning and is best understood as an integrated whole.

SECTION 330-402 APPLICABILITY

- A. This Article applies to all land, buildings, streets, sidewalks, uses, activities, public and private improvements, and landscape alterations of any kind occurring within the seven Riverside overlay zones, as further detailed in Section 330-405 and 330-407.
- B. The regulations in the ROD apply not only to private land use and development, but also to public improvements, new streets, sidewalks, land and land uses owned or to be owned and operated by the Town of Southampton. The Town of Southampton encourages entities that are legally exempt from the Town's zoning law to take this Article into consideration in conducting their activities within the ROD.
- C. The seven ROD overlay zones do not replace the underlying zoning rules and regulations that currently exist in the ROD. They provide an alternative option for landowners to use in developing and redeveloping their land and buildings within the ROD. All existing rights, allowable uses, and approval procedures under the Town of Southampton Zoning Law remain in full force and effect, except that if a property owner elects to proceed under the overlay provisions of this Article, such provisions shall replace the provisions of the underlying zoning districts as well as the procedural provisions to the extent that the overlay is inconsistent with any underlying district provisions. A landowner electing to proceed under this Article shall follow the procedures in Section 330-413 rather than procedures prescribed elsewhere in the Chapter 330, unless this Article provides that such procedures apply to the ROD.
- D. This Article includes street and civic spaces standards further described in 330-408 and 330-409, and use standards, development standards, and site planning standards organized by Riverside Overlay zoning Districts, as further described in Section 330-410. For applicants electing to proceed under the ROD, these overlay districts and standards replace the otherwise applicable zoning, subdivision, site plan, and other provisions in the Town Code regulating land use and development; creating an integrated code for the ROD and a new set of procedures for administering this code. Where this article is silent about any matter relating to land use, building, or development, applicable provisions of the Town Code that do not conflict with this Article shall apply. In case of any conflict between this Article and any other provision of the Town Code, this Article shall control, except as provided in subsection E below.
- E. Building Code and Life Safety Codes: All applications for building construction are required to conform to applicable building code and life safety ordinances, laws, and regulations. Applicants shall be responsible for obtaining all necessary building permits and other approvals from local regulatory agencies with jurisdiction over a project. In any case where building or life safety regulations are in conflict with this Article, such regulations shall take precedence. The Planning Board and Department of Land Management, in reviewing any such conflicts, shall seek solutions that, to the maximum extent practical, are consistent with the intent and purpose of this Article.

SECTION 330-403 DEFINITIONS

The definitions below describe terms as they appear in this Article that are technical in nature or that otherwise may not reflect common usage. Unless otherwise specified, if a term is defined in this §330-403, and if it is defined in §330-5 of this Chapter, the definition in this §330-403 shall apply. Additionally, if a term is not defined in this §330-403, and if it is defined in Section 330-5 of this Chapter, the definition §330-5 shall apply. If a term is not defined in either section of this Chapter, then the common usage of the term shall be used. In any interpretation of terms used in this Article, the official or officials responsible for making such interpretation shall consult with the Master Developer and/or Project Development Council.

ACCESS LANE

A traveled way providing vehicular access to a parking lot, parking structure, garage, service area, loading area or building subject to Section 330-408, Street and Block Standards.

ACTIVE EDGE

A combination of architectural and programmatic elements designed to stimulate and concentrate pedestrian activity along a public frontage, including frequent placement of entrances, storefronts, display areas and areas designed for multiple users.

AGRICULTURE

The use of land and buildings including rooftops for one or more of the following purposes listed below, where no nuisance is created by such use:

AQUACULTURE

Raising aquatic plants or animals for sale.

COMMUNITY GARDENS

Land managed by a public or not-for profit organization or association and used to grow plants or ornamental crops for household use, sale, or donation.

ROOFTOP GARDENS

A garden on the roof of a building, used as private or public open space, providing increased viewshed opportunities. Roof plantings may provide hydrological benefits, heat-island effect reduction (as described in Section 330-410), architectural enhancement, building temperature control, habitats or corridors for wildlife, recreational opportunities, and other ecological benefits. Rooftop gardens may be used for rooftop farming.

ROOFTOP FARMING

Providing practice of cultivating food on the rooftop of buildings.

APARTMENT

A dwelling unit sharing a building and a lot with other dwelling units and/or uses.

APPLICANT

Any person or entity applying for an approval under the provisions under this Article.

ARCADE

A private frontage type that has a series of arches or openings carried by columns or piers, and provides a covered walkway with access to adjacent storefronts. An arcade can support a wall, terrace/balcony, a roof, or an entablature. See Section 330-410.

ARTISAN PRODUCTION FACILITY

An establishment where small-scale art, craft, and similar products are produced and/or sold on the premises, including but not limited to arts and crafts, micro breweries, musical instrument makers, toy makers, and custom furniture makers. An artisan production facility does not include industrial scale mass production.

BLOCK

The aggregate of private lots, parking and rear access lanes, as identified by Zoning Standards Map, Section 330-407.

BOA

Brownfield Opportunity Area- the New York State Department of State (DOS) provides financial and technical assistance to municipalities and community-based organizations. Funding can be used to complete revitalization plans and implementation strategies for areas affected by the presence of brownfield sites, as well as site assessments for strategic sites.

SECTION 330-403 DEFINITIONS

BUILD-TO-LINE (BTL)

A line parallel to the Front Lot Line which defines the portion of the Build-To-Zone closest to a street.

BUILD-TO-ZONE (BTZ)

The portion between the Build-To-Line and a line parallel to the Build-To-Line and further from the street within the lot. Also a Private Frontage, as regulated in Section 330-410.

CIVIC SPACE

Land accessible to the public that is available for public use. See Section 330-409.

COMMUNITY BENEFIT UNITS

Housing unit(s) which is (are) intended to provide a long-term benefit to the community as an affordable housing unit(s) for income-eligible households as defined and administered in Chapter 216 of the Town Code.

COMMERCIAL USE

Any retail, service or office use listed as such in Table of Uses, see Figure 410-1A and Figure 410-1B.

COMMUNITY GARDENS

Land managed by a public or not-for profit organization or association and used to grow plants or ornamental crops for household use, sale, or donation.

COURTYARD

See Section 330-409.

CURB

The portion of pavement marking the transition from the vehicular to the pedestrian realm. It may be raised, flush, with bollards or similar indications. (See: Face of Curb)

CURB CUT

Any point of access along a street where the curb line is broken in order to permit the passage of vehicles to another street, access lane, loading area, parking area or parking structure.

DATA INFORMATION CENTER

A facility that provides services or management for data processing and houses related equipment.

DEVELOPMENT

The performance of any building, demolition or mining

operation, the making of any material change in the use or intensity of use of any structure or land or the creation or termination of rights of access or riparian rights, any substantial improvement to an existing structure or change in the façade of a building, any material change in a site's topography, grading, landscaping, tree removal, clearing of natural vegetation or site disturbance beyond reasonable management purposes.

DOCUMENT/ MISC. STORAGE

The commercial enterprise of storing documents, goods, and materials.

EDGING ELEMENTS

Structures, walls, or landscaping along the edges of public spaces and frontages that define and enclose the public realm. See Section 330-410 D.

EDUCATIONAL USE

Provision of educational services, public or private, including but not limited to primary and secondary schools, nursery schools, colleges and universities, music schools, dance schools, vocational schools, apprenticeship programs, and facilities designed to provide instruction in any other recognized skill or vocation.

ENCROACH

To break the plane of a vertical or horizontal regulatory limit with a structural element, so that it extends into a setback, or into the public frontage.

ENCROACHMENT

Any structural element that breaks the plane of a vertical or horizontal regulatory limit, extending into a setback, or into the public frontage.

FACE OF CURB

The side or the end of a curb at the edge of the traveled way.

FRONT COURT

See Section 330-409.

FRONTAGE, BLOCK

The contiguous length of all lots measured as the linear feet at the Build-to-Line.

FRONTAGE OCCUPANCY

The percentage of the Site Frontage that must be occu-

SECTION 330-403 DEFINITIONS

pied by a building façade for a specified minimum height and built within the build-to-zone.

FRONTAGE, PRIMARY

Frontage facing the waterfront or street type with the highest priority where A Streets are the highest and C Streets are the lowest priority.

FRONTAGE, PRIVATE

An area located within a Build-to-Zone containing a Street Wall at regulated height.

FRONTAGE, PUBLIC

The area located between the face of curb and the Build-To-Line as defined by the Zoning Standards Map and corresponding Street Type or civic space designations. See Sec 408.B.

FRONTAGE, SITE

The total length of a site fronting on one or more streets and public spaces including riverfront, measured in linear feet at the Build-To-Line.

FRONTAGE TRANSITION ZONE

The portion of the public frontage between the Build-To-Line and the pedestrian clearway, allowing for building fixtures (e.g. lighting, signage, projected architectural mouldings), removable planters, and signage boards.

GARDENS, ROOFTOP

See Rooftop Gardens

HALF STORY

An uppermost improved story, usually lighted by dormer windows, in which a sloping roof replaces the upper part of the front wall in which fifty percent (50%) or less of its area with a clear interior height of seven (7) feet or more.

HOTEL

An establishment providing sleeping accommodations for guests, with additional ancillary uses contained in full service hotels, containing at least 20 guest suites, or condominium units that provide guest amenities or services and are operated and managed by the hotel (excluding inns and bed and breakfast establishments).

LANDSCAPE AND FURNISHING ZONE

The area of sidewalk where placement of street furniture and landscaping is allowed.

LINER BUILDING

A building designed to screen another building or use of less active frontage from a view within a Build-To-Zone, street or civic space.

LIVE-WORK BUILDING

A building which includes a combination of dwelling units and retail and/or artisan production facilities in excess of what is allowed as a Home Occupation or Home Professional Office as defined by Table of Principal Uses, 330-410-1A.

MARINA

A facility for the berthing of all types of recreational watercraft, providing secure moorings and offering fishing stations.

MASTER DEVELOPER

The development entity selected by the Southampton Town Board to oversee development in the ROD pursuant to the Master Developer Agreement executed on April 16, 2014.

MIXED USE

A building or site designed for and containing more than one of the uses listed on the Table of Permitted Uses, Section 330-410.

MULTI-FAMILY RESIDENCE

A single-use building containing three or more dwelling units.

OFFICE

Premises allowing for the transaction of general business but excluding retail and artisan production facility.

PARAPET LINE

A continuous horizontal projection for most of a façade. The parapet can be a designated location for measure of building height for buildings with flat roof.

PARKING LOT

A municipal or private, surface used for parking, accessory to principal uses on a same lot or on a separate lot.

PARKING STRUCTURE

An isolated or integrated structure containing one or more stories of parking above or below grade.

PARKING MANAGEMENT PLAN

A tool to implement parking management strategies that result in more efficient use of parking resources, including

SECTION 330-403 DEFINITIONS

sharing, regulating and pricing of parking facilities, more accurate requirements, use of off-site parking facilities, improved user information, and incentives to use alternative modes.

PEDESTRIAN CLEARWAY

An area within the Public Frontage that must remain clear of obstructions to allow public passage. See Section 330-408.B.3

PEDESTRIAN WAY

An outdoor pedestrian walkway providing common access between buildings, streets, civic spaces and parking areas, which may be open or roofed.

PIAZZA

See Section 330-409.

PLAZA

See Section 330-409.

POCKET PARK

See Section 330-409.

PRINCIPAL ENTRANCE

The main point of access for pedestrians into a building.

PRIVATE FRONTAGE

See FRONTAGE, PRIVATE.

PRIVATE OPEN SPACE

A privately owned outdoor space located at ground level or on upper floors, designed to provide outdoor dining, passive recreation, gardens, urban agriculture, plaza space, sitting areas, green roof, landscaped courtyards or similar spaces for regular occupant use, not including parking areas, roofs not designed for regular occupant use, loading areas or mechanical areas. See Section 330-409.

PROFESSIONAL SERVICES

Services rendered by an attorney, a licensed professional including but not limited to certified public accountant, professional engineer, architect, landscape architect, physician, dentist, speech pathologist, audiologist, chiropractor, podiatrist, physical therapist or psychologist, actuary, appraiser, business consultant and development manager, financial institution and financial advisor, information technology professional, certified planner, public

relations professional, recruiter, researcher, real estate professional, surveyor, translator.

PROJECT DEVELOPMENT COUNCIL (PDC)

An advisory committee established by the Town Board to advise an applicant and Town agencies pursuant to a resolution adopted on June 12, 2012 (No. 2012-641) whose membership, scope of review and duties may be modified in this Article.

PUBLIC FRONTAGE

See Frontage, Public.

RECREATIONAL BUSINESS

A business and/or club, which for compensation and/or dues, offers recreational services, including but not limited to gyms, health clubs, movie theaters, children's play facilities, or other places for public or private entertainment.

RESEARCH AND DEVELOPMENT

The systematic study and application of knowledge or understanding, directed toward the production of useful materials, devices, and systems or methods, including design, development, and improvement of prototypes and new processes to meet specific requirements.

RESIDENTIAL CARE FACILITY

A building used as a group residence or extended care facility for the care or supervision of persons, including Adult Care Facilities and nursing homes, where compensation and/or reimbursement of costs is paid to an operator, pursuant to State or Federal standards, licensing requirements, or programs funding residential care services.

RETAIL USE

Sale of goods and/or provision of personal services directly to the ultimate consumer.

RIVERSIDE INCENTIVE BONUS (RIB)

Incentives for private property owners that choose to seek additional height and density. See Section 330-410.

RIVERSIDE OVERLAY DISTRICT (ROD):

The area of the Town of Southampton regulated by this Article 330 ("this Article") pursuant to the Town Comprehensive Plan, Urban renewal Area, corresponding

SECTION 330-403 DEFINITIONS

with the area covered by the BOA boundary and Master Developer Agreement. The acronym “ROD” refers to the geographic area covered by this Article (i.e. the ROD “area”), the ROD regulations (ROD “zoning”), and the group of specific overlay zones created and described herein.

SETBACK

The distance between a specified lot line or build-to-line and the front, side, or rear of a building . (See also: Build-to-Line and Build-to-Zone)

SIGNIFICANT CORNER

Corner locations, typically at intersections, with a distinctive architectural element or a civic space framed by buildings of high architectural quality. A significant corner may function as a terminating vista.

SITE / DEVELOPMENT SITE

An assemblage of one or more Lots controlled through an individual owner, contract vendee, or a group of owners acting together to develop under the provisions of this Article.

SMALL SCALE RENEWABLE ENERGY FACILITY

Structure or Improvement for the generation of energy from renewable resources, including, but not limited to, wind, solar, hydroelectric, methane, wood, biomass and alcohol, not to exceed a generating capacity of 100 Kilowatts.

SQUARE

See Section 330-409.

STOOP

See Section 330-410.

STOREFRONT

A private frontage type primarily for retail use, with regulated minimum percentage of glazing, complying with Storefront Frontage or Arcade Frontage requirements. See Section 330-410.

STREET

The public right-of-way, encompassing the traveled way and the public frontage on either side of the traveled way, bounded by build-to-lines or lot lines on both sides of the public right-of-way. See Section 330-408.

STREET WALL

The wall of a building and the series of building walls aligned within a Built-To-Zone facing a street to form an uninterrupted pedestrian experience of street enclosure.

STREET WALL HEIGHT

The vertical height of a Street Wall measured from the median grade of a sidewalk at the Street Wall to the highest vertical plane of a facade at a roof line, or the top of the parapet, located within the Build-To-Zone.

TERMINATING VISTA

A location at the axial conclusion of a street or exposed viewshed and designated on the Zoning Standards Map to provide a distinctive architectural element or a civic space framed by buildings of high architectural quality.

TRAVELED WAY

The portion of a street between the curbs and available for use by vehicles, bicycles and other forms of transportation.

UTILITIES

Facilities and structures used for production, generation, transmission and distribution of services provided by licensed utility companies (public or private) including but not limited to electric, gas, water, sewer, telephone, cable TV, and internet access services, excluding local services directly provided to buildings by cables, wires, poles and pipes, and excluding wireless communication towers.

SECTION 330-404 RELATIONSHIP TO OTHER COOPERATING ENTITIES

Certain other entities and legal instruments are referenced herein for the purpose of securing related public improvements and community benefits. These include the following, which are detailed more fully in the enumerated sections below:

- A. Project Development Council
- B. Parking (See Section 330-410)
- C. Community Benefits Policies (See Section 330-416)
- D. Civic Spaces (See Section 330-409)

The Riverside Overlay District (ROD) is shown on the map entitled

SECTION 330-405 ESTABLISHMENT OF RIVERSIDE OVERLAY DISTRICT

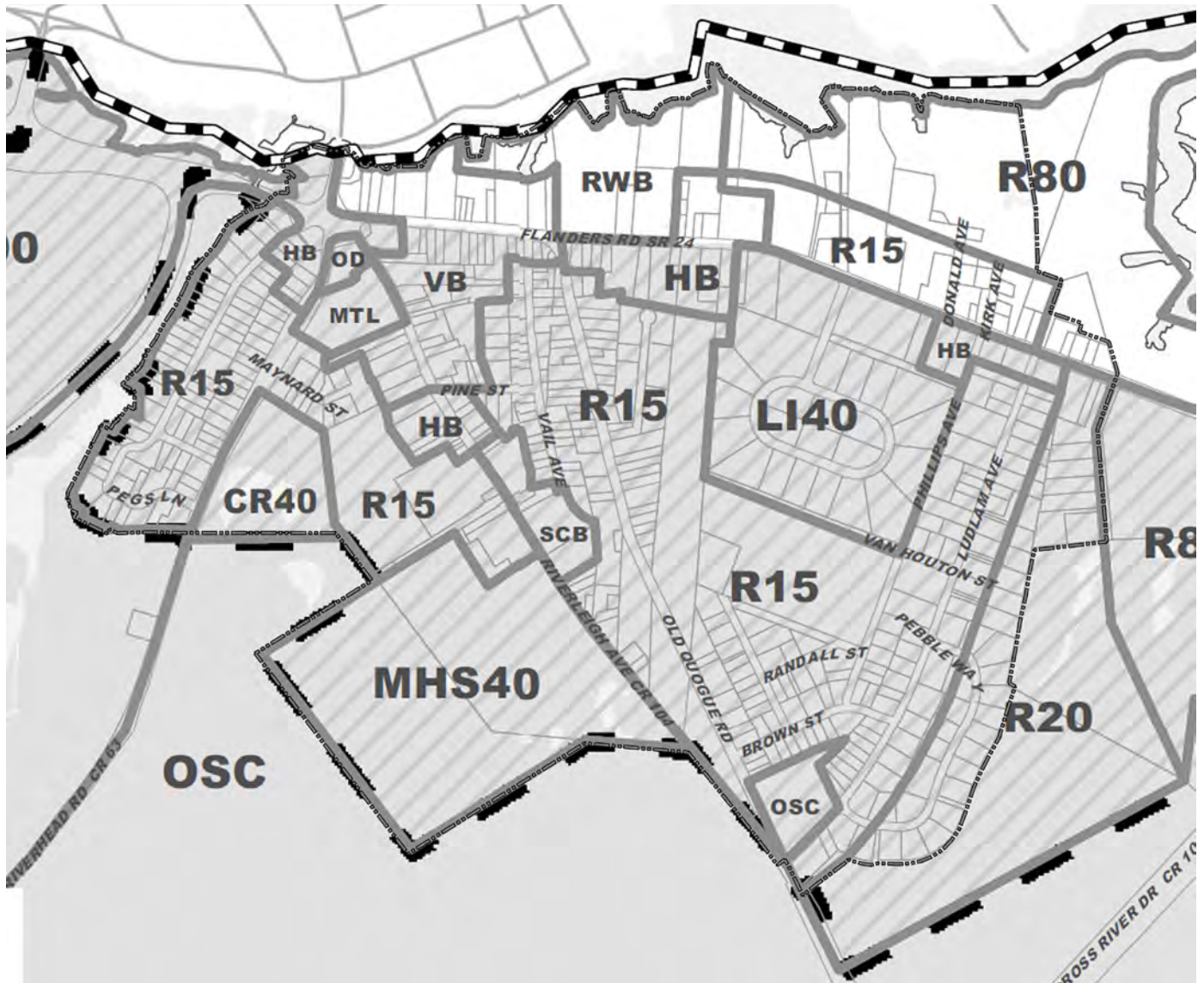
"Town of Southampton Zoning Map" (hereinafter referred to as the "Southampton Zoning Map"), is divided into seven overlay zones shown as "RO-1," "RO-2," "RO-3," "RO-4," "RO-5," "RO-6," and "RO-7."

Town of Southampton

FIGURE 405-1

This figure is an excerpt of the Official Town of Southampton Zoning Map designating the location of the Riverside Overlay District.

FIGURE 405-1 OFFICIAL TOWN OF SOUTHAMPTON ZONING MAP, SUFFOLK COUNTY, NY



- VB Village Business
- HB Highway Business
- SCB Shopping Center Business
- OD Office Business
- MTL Motel Business
- RWB Resort and Waterfront Business
- LI40 Light Industrial 40,000
- R15 Residential 15,000
- R20 Residential 20,000
- CR40 Country Residential 40,000







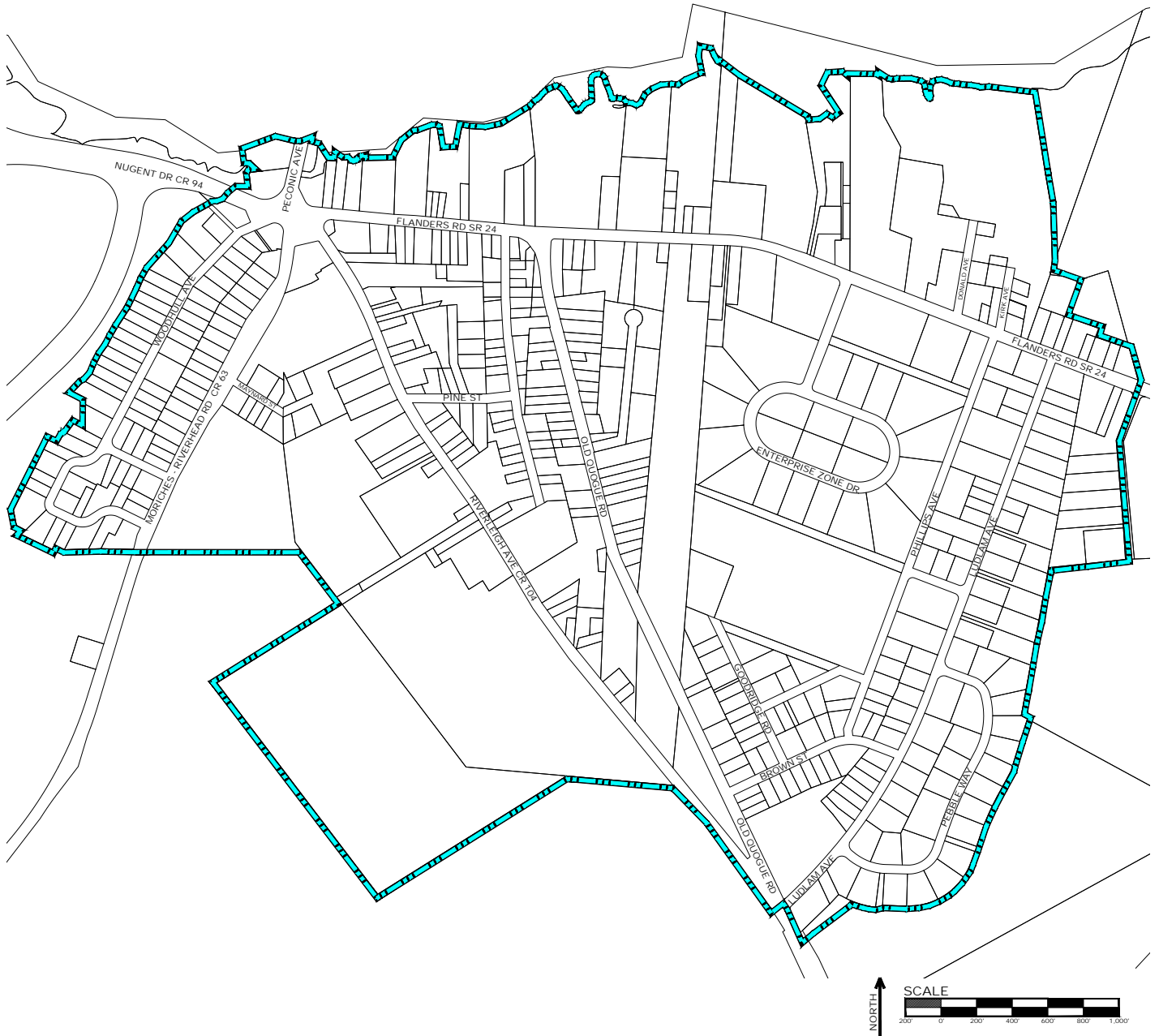
- R80 Residential 80,000
- OSC Open Space Conservation
-  Zoning District Boundaries
-  Tax Parcel Lines
-  Aquifer Protection
-  Central Pine Barrens Overlay District Boundary
-  Central Pine Barrens Compatible Growth Area
-  Riverside Overlay District (ROD)

FIGURE 405-2 RIVERSIDE OVERLAY DISTRICT BOUNDARY MAP



SECTION 330-406 [RESERVED]

SECTION 330-407 ZONING STANDARDS MAP

- A. The ROD is divided into the following Overlay Zones, shown as "RO-1," "RO-2," "RO-3," "RO-4," "RO-5," and "RO-6," The boundaries of these Overlay Zones are shown on the Zoning Standards map 407-1 .
- B. The Riverside Overlay District consists of the following zones:
- (1) RO-1- Riverside Hamlet Center - The intent of this district, located within ¼-mile of Downtown Riverhead and the Riverside traffic circle, is to encourage public activities and the greatest variety and mix of uses, including a range of residential, retail, hospitality, cultural and entertainment uses. The RO-1 district permits the highest densities and requires compact design with vertically and horizontally integrated residential and non-residential uses. Parking standards and pedestrian amenities required in this zone reflect its pedestrian access to waterfront and existing walkable downtown with commuter rail, and other transit options.
 - (2) RO-2- Riverside Hamlet Neighborhood- The intent of this district, located within ½-mile of Downtown Riverhead and the Riverside traffic circle, is to support, similarly to the RO-1 district, a wide variety and mix of uses, promoting a range of retail choices and commercial uses as well as a variety of residential options. The RO-2 district also permits the highest densities and promotes compact design with vertically and horizontally integrated residential and non-residential uses. Parking standards and pedestrian amenities required in this district also reflect its immediate access to Hamlet Center and Downtown Riverhead with commuter rail and other transit options.
 - (3) RO-3- Riverside Special District- The intent of this district, located mostly between ½-mile and ¾ mile of Downtown Riverhead and Riverside traffic circle, is to support a variety of uses with employment in focus and high concentration of housing choices. The RO-3 district promotes lower intensity of uses while it continues to promote compact design with vertically and horizontally integrated residential and non-residential uses. Parking standards and pedestrian amenities support proximity Hamlet Center.
 - (4) RO-4- Riverside Gateway District- The intent of this district is to create a transition in vehicular approach to Riverside along major routes, with a wider range of uses than the underlying zoning districts permits, and lower densities than the other RO districts.
 - (5) RO-5- Riverside Suburban District- The intent of this district is to maintain the suburban character of existing neighborhoods while allowing higher densities than the underlying zoning districts permit.
 - (6) RO-6- Riverside Waterfront District- The intent of this district is to accentuate Riverside's maritime character while allowing greater mix of uses and waterfront related businesses than the underlying zoning districts permit.
- C. If a parcel is located in more than one Riverside Overlay district, the applicant shall be entitled to apply the Building Use and Downtown Incentive Bonus district provisions for the more permissive district to the entire parcel. However, the Development Standards including Build-to-Line and Build-to-Zone, Building Height, Frontage Type and Occupancy, and Sustainability standards, as well as Sign Standards for each district shall apply to the portions of the site located in each district. (See Section 330-410 B,C, G.)
- D. In the RO-1, RO-2, and RO-3 districts, building form, frontage and design criteria promote high quality streetscape and a pedestrian-friendly environment, quality public and civic areas, and vertically and horizontally integrated residential and non-residential uses, with an interconnected network of streets, wide sidewalks, orderly street tree plantings, and buildings set close to the sidewalks. The procedures for these districts are contained in Section 330-413.
- E. A Zoning Standards Map is hereby established and incorporated into this Article for all zoning districts within the ROD. The Development Standards, Street Standards, and Civic Space Requirements and Standards in Sections 330-408, 330-409, and 330-410 are keyed to the Zoning Standards Map to show how these standards apply in different portions of each district.
- F. The Zoning Standards Map, because of its level of detail,

is available on both one large sheet and in a series of tiled maps, along with a legend and key map.

- G. The Zoning Standards Map designates a series of Zoning Standards Elements to regulate the building forms most appropriate for each Overlay District, street, block and lot. This map regulates Street Types, Terminating Vistas, Significant Corners and Required Frontage Types.

(1) **Street Types**

The Riverside Overlay District permits three Street Types, which regulate allowable Frontage Types and the number and location of Curb Cuts permitted to be constructed along those streets:

- (a) A Street
- (b) B Street
- (c) C Street- (to be designated if necessary for a new site plan approval)

See Section 330-410 for the Frontage Types permitted to face these Street Types, See Section 330-408 for the Traveled Way and Curb Cut Types permitted to intersect with these Street Types.

(2) **Terminating Vistas**

The Zoning Standards Map designates locations where Terminating Vistas are required. Where a new street is created not shown on Zoning Standards Map, a building at a termination of newly created axis of that street shall become a new Terminating Vista. See Section 330-410.F.

(3) **Significant Corners**

The Zoning Standards Map designates locations where Significant Corners are required as defined in Section 330-410.E.

(4) **Required Frontage Types**

The Zoning Standards Map designates certain locations where Storefront Frontage Types are required according to the standards established in Section 330-410.C. Certain limitations on permitted residential uses also apply to these designated Storefront Frontage locations, as provided in Section 330-410. A.

FIGURE 407-1 RIVERSIDE OVERLAY DISTRICT MAP

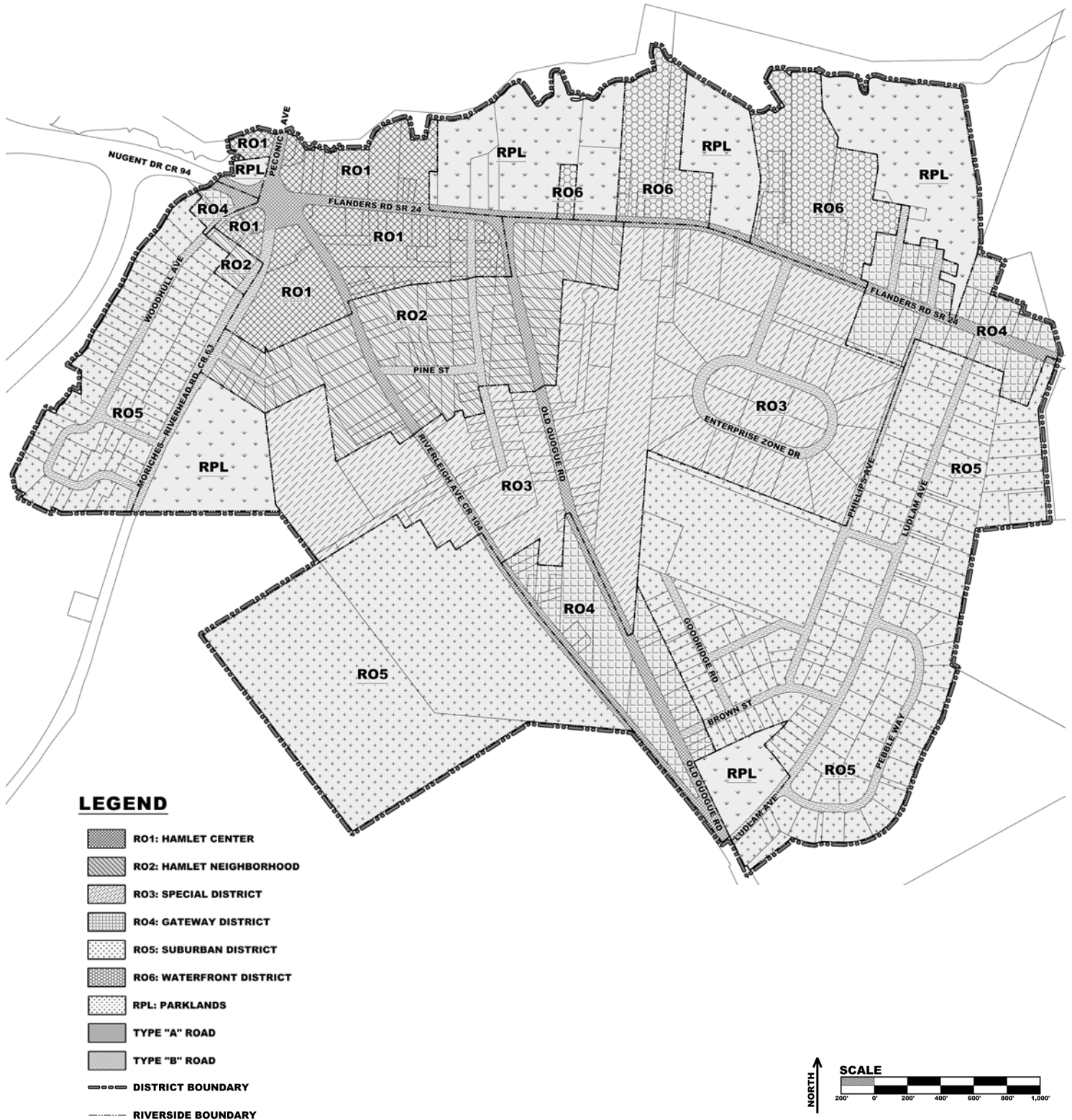


FIGURE 407-1-A RIVERSIDE OVERLAY DISTRICT MAP (COLOR)

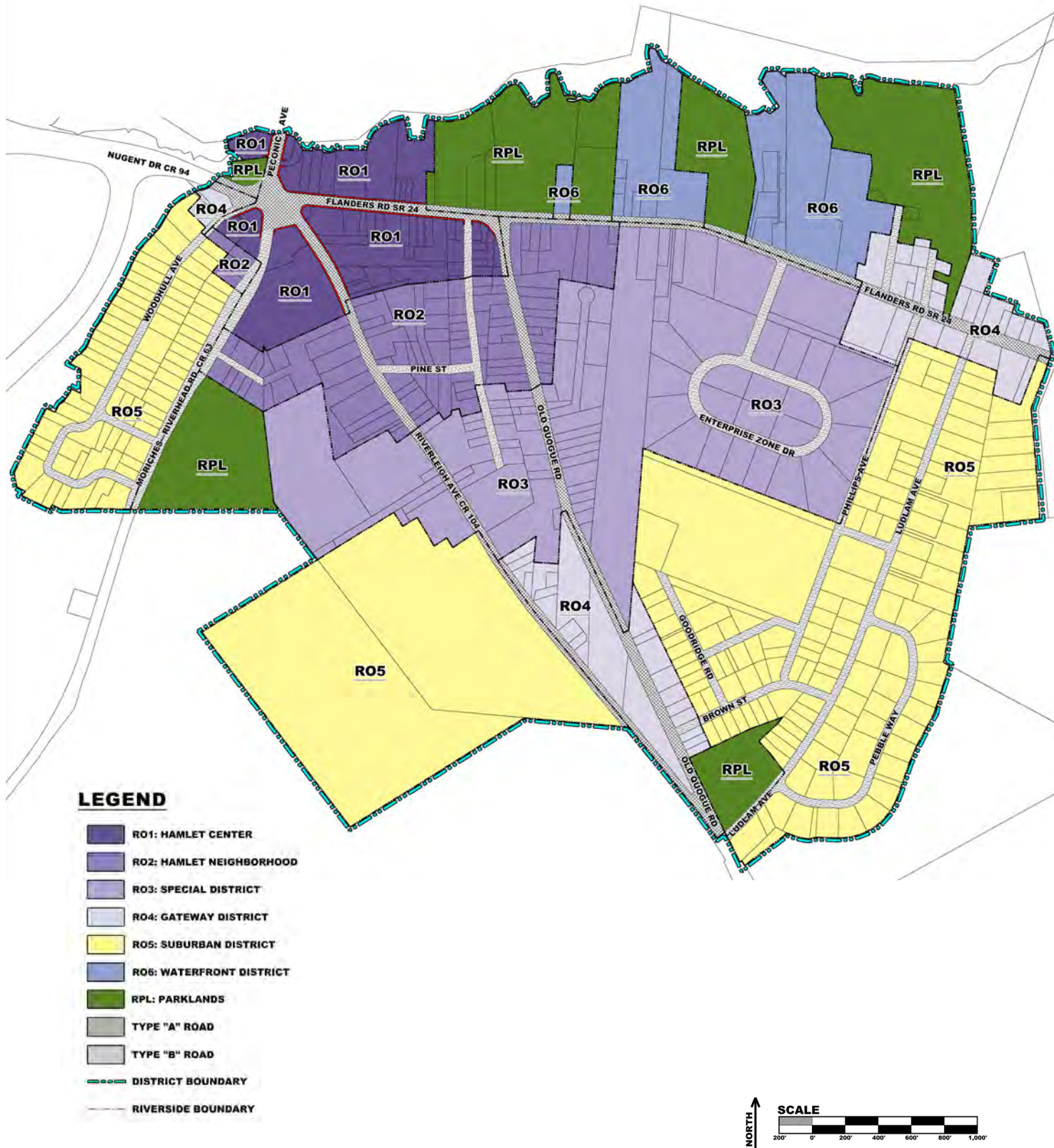


FIGURE 407-2 ZONING STANDARDS MAP

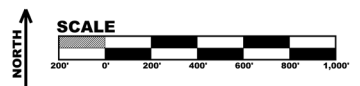
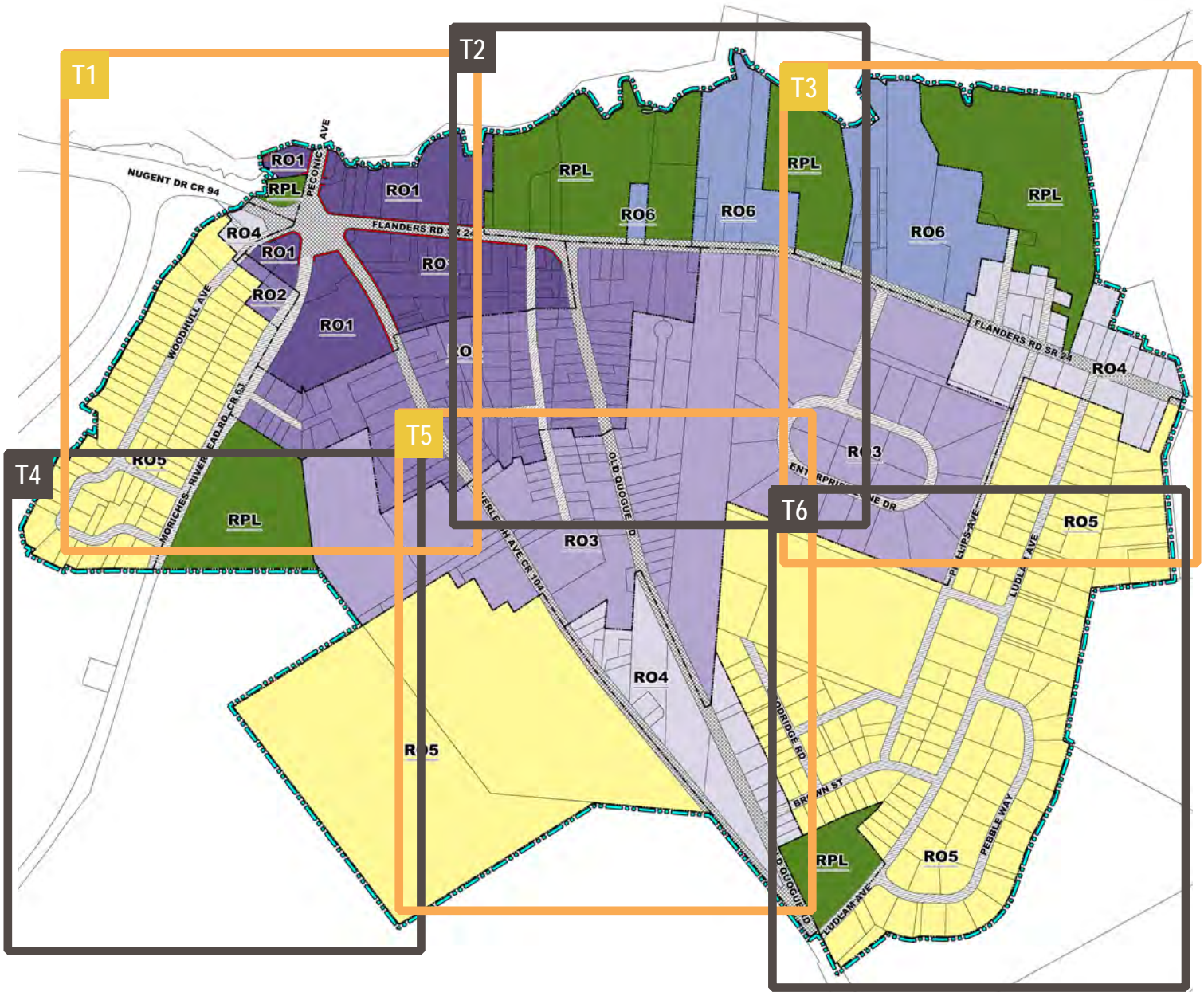


















FIGURE 407-2A ZONING STANDARDS MAP LEGEND

-  RIVERSIDE OVERLAY DISTRICT BOUNDARY
-  RO-1 RIVERSIDE HAMLET CENTER
-  RO-2 RIVERSIDE HAMLET NEIGHBORHOOD
-  RO-3 RIVERSIDE SPECIAL DISTRICT
-  RO-4 RIVERSIDE GATEWAY DISTRICT
-  RO-5 RIVERSIDE SUBURBAN DISTRICT
-  RO-6 RIVERSIDE WATERFRONT DISTRICT
-  RPL RIVERSIDE PARKLAND
-  DISTRICT BOUNDARY
-  PROPERTY LINE
-  BLOCK NUMBER
-  BLOCK DIVISION LINES

ZONING STANDARDS REQUIREMENTS

-  RIVERSIDE PROMENADE
-  STOREFRONT REQUIRED **FR-1**
-  SIGNIFICANT CORNER
-  TERMINATING VISTA

STREET TYPES



-  Street A
-  Street B

FIGURE 407-2B ZONING STANDARDS MAP TILE 1 T1

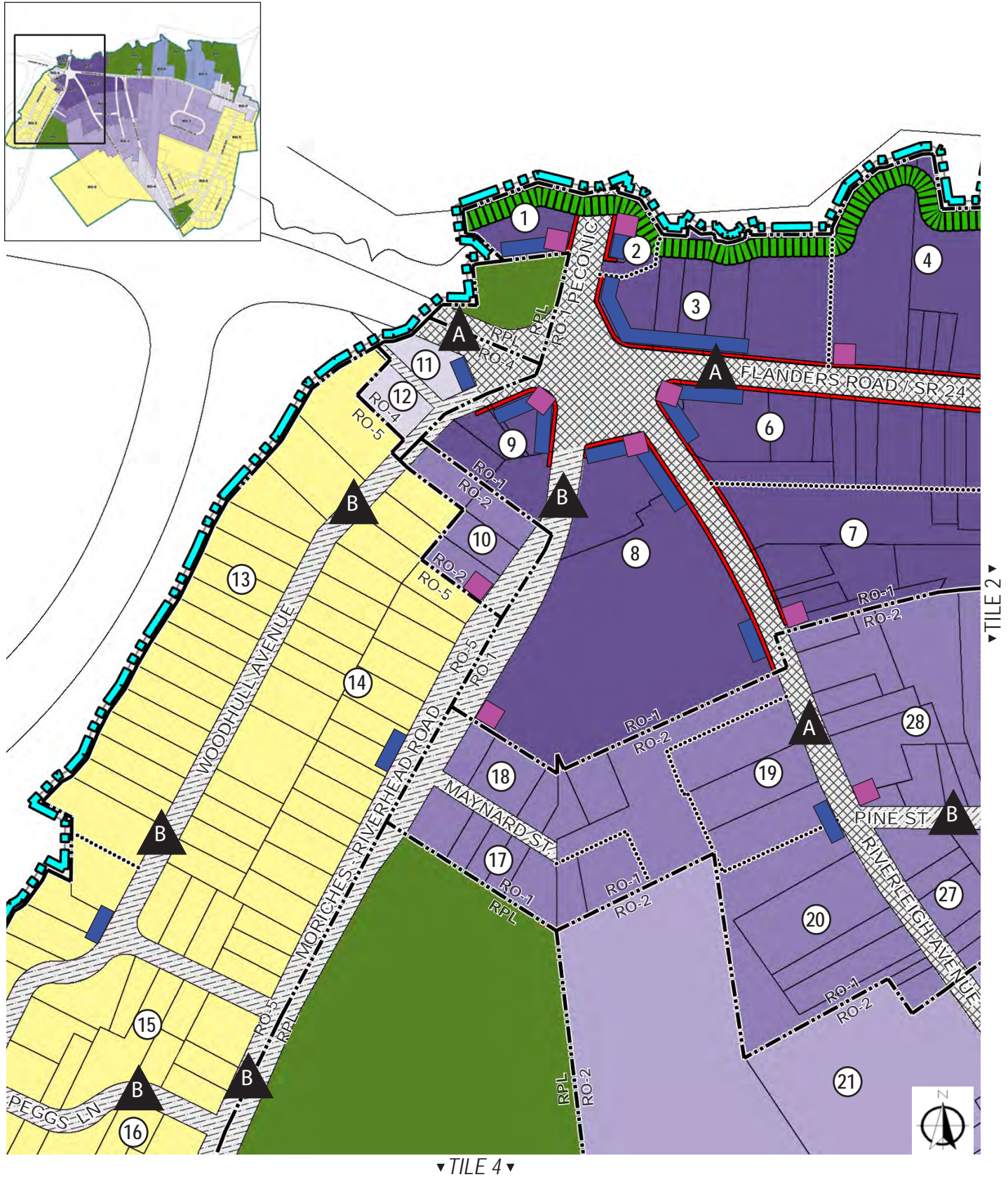
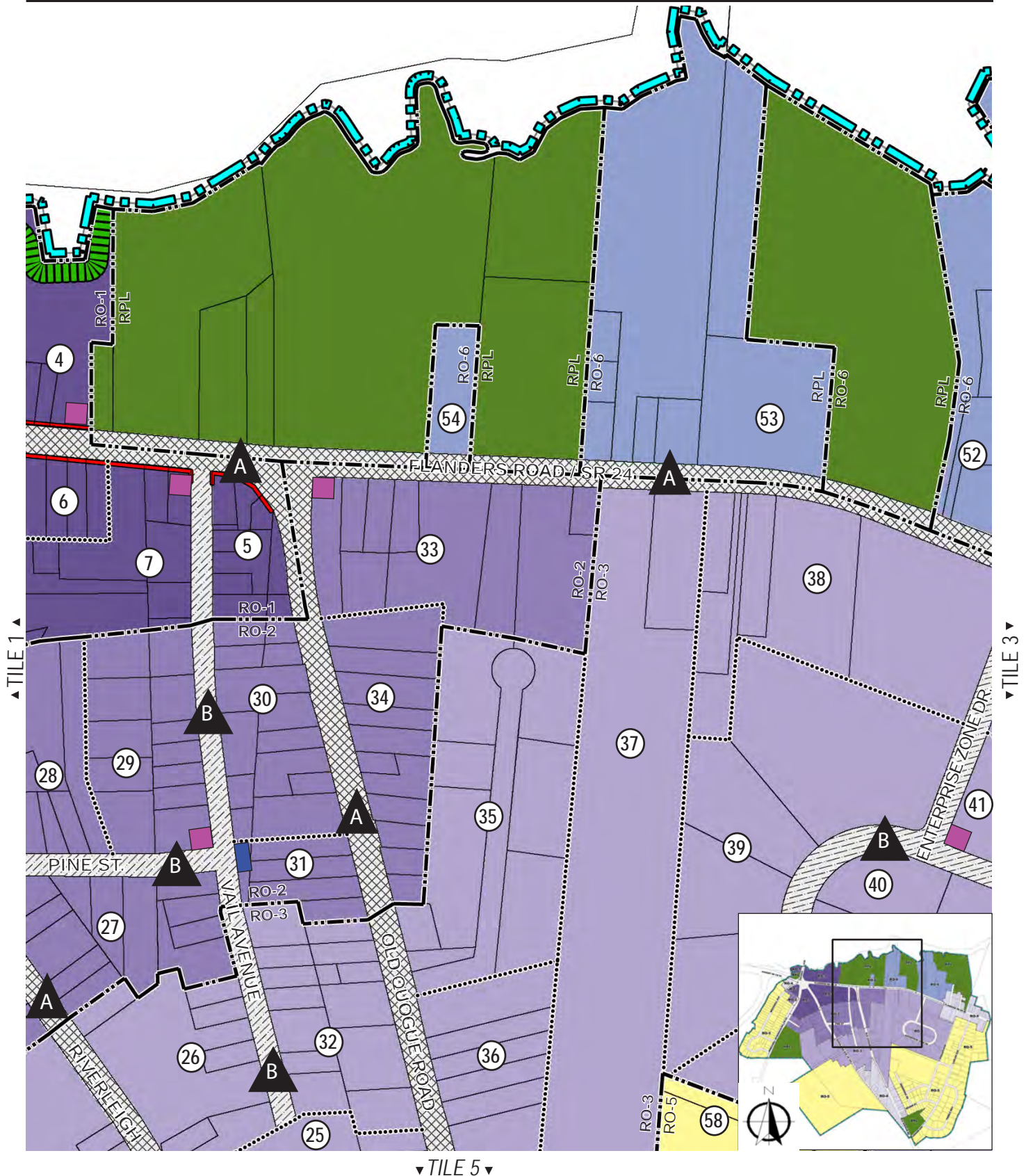


FIGURE 407-2C ZONING STANDARDS MAP TILE 2

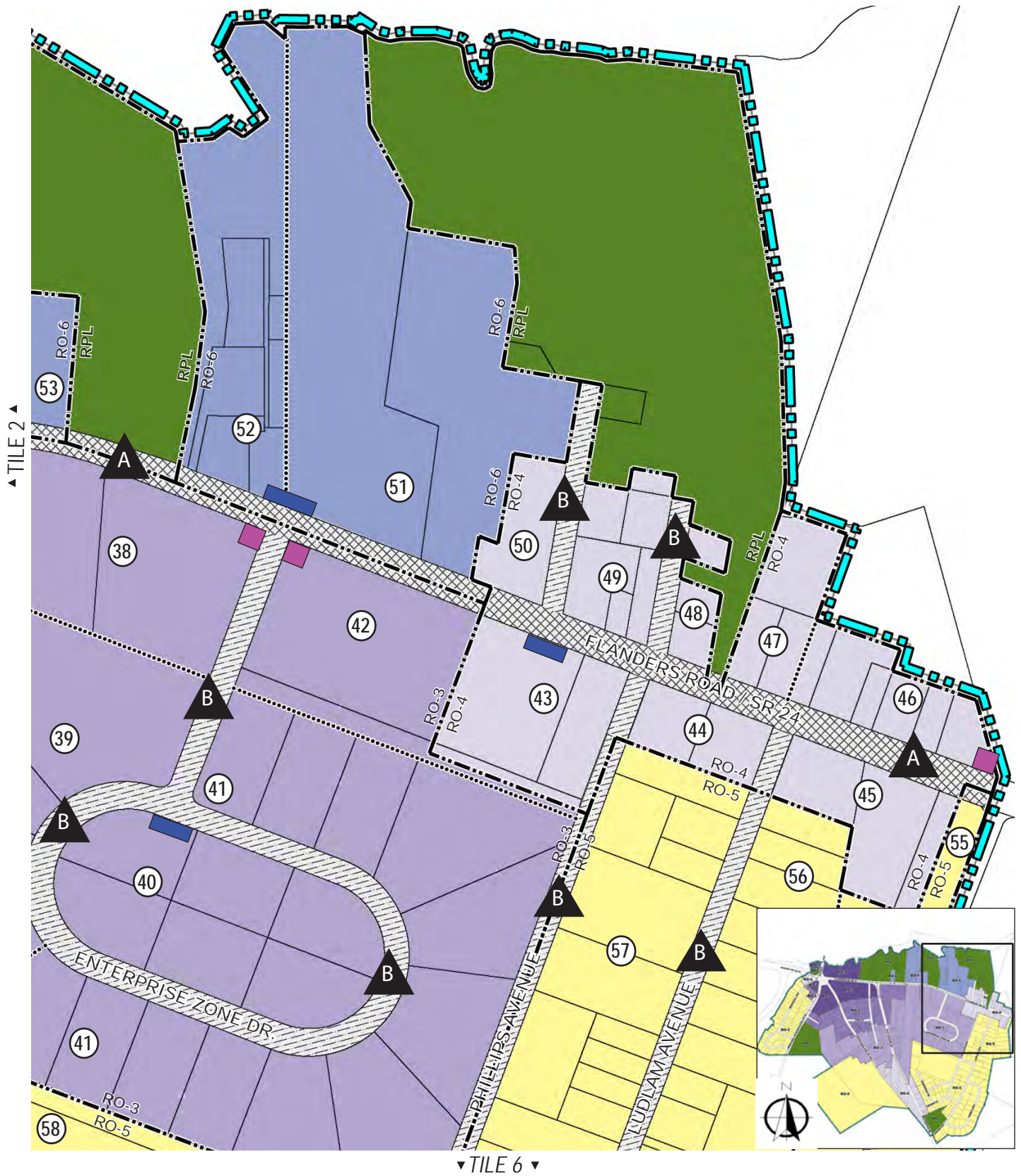
T2



▼TILE 5▼

FIGURE 407-2D ZONING STANDARDS MAP TILE 3

T3

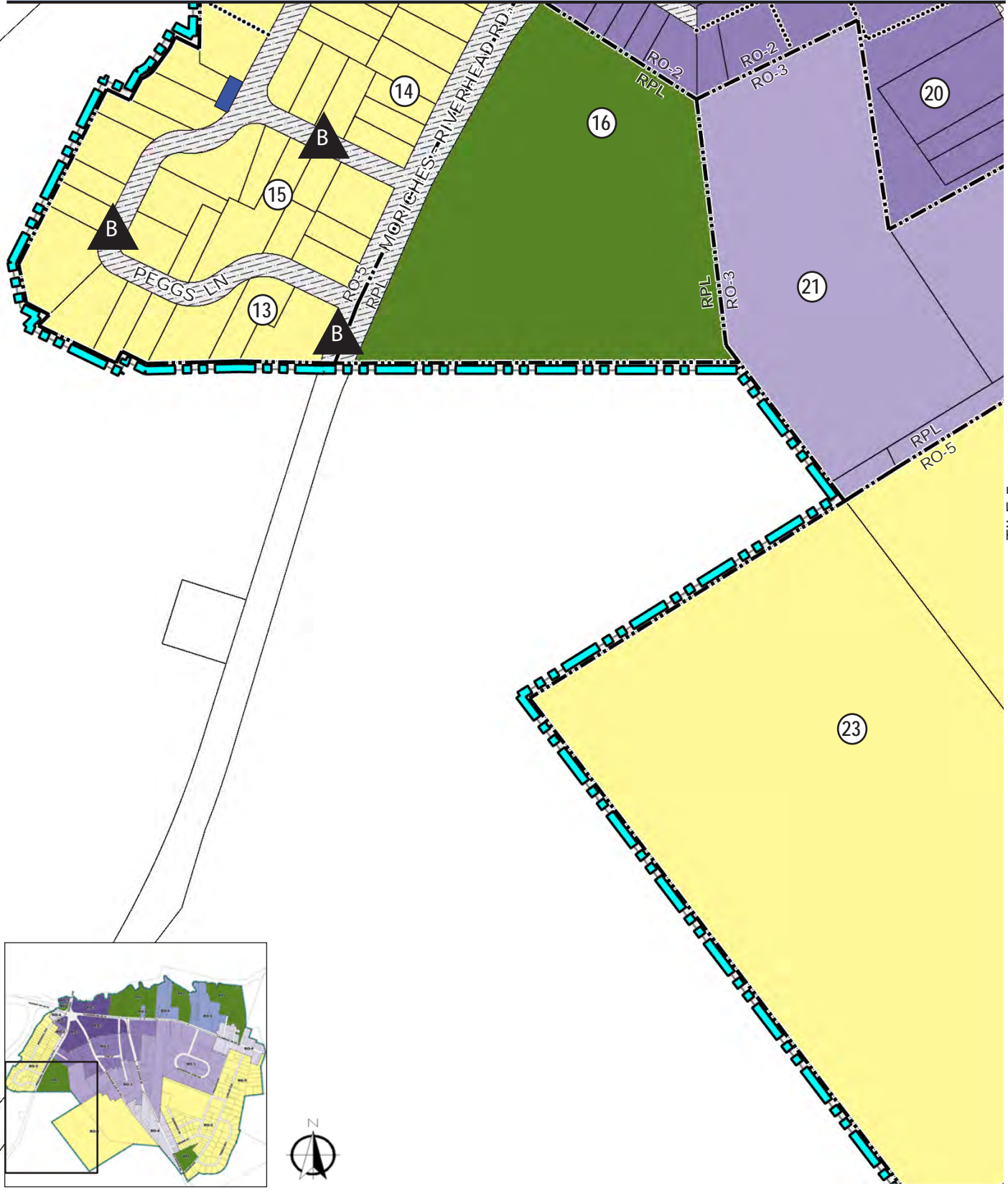


▼TILE 6▼

▲TILE 1 ▲

FIGURE 407-2E ZONING STANDARDS MAP TILE 4

T4



▼TILE 5 ▼

FIGURE 407-2F ZONING STANDARDS MAP TILE 5

T5

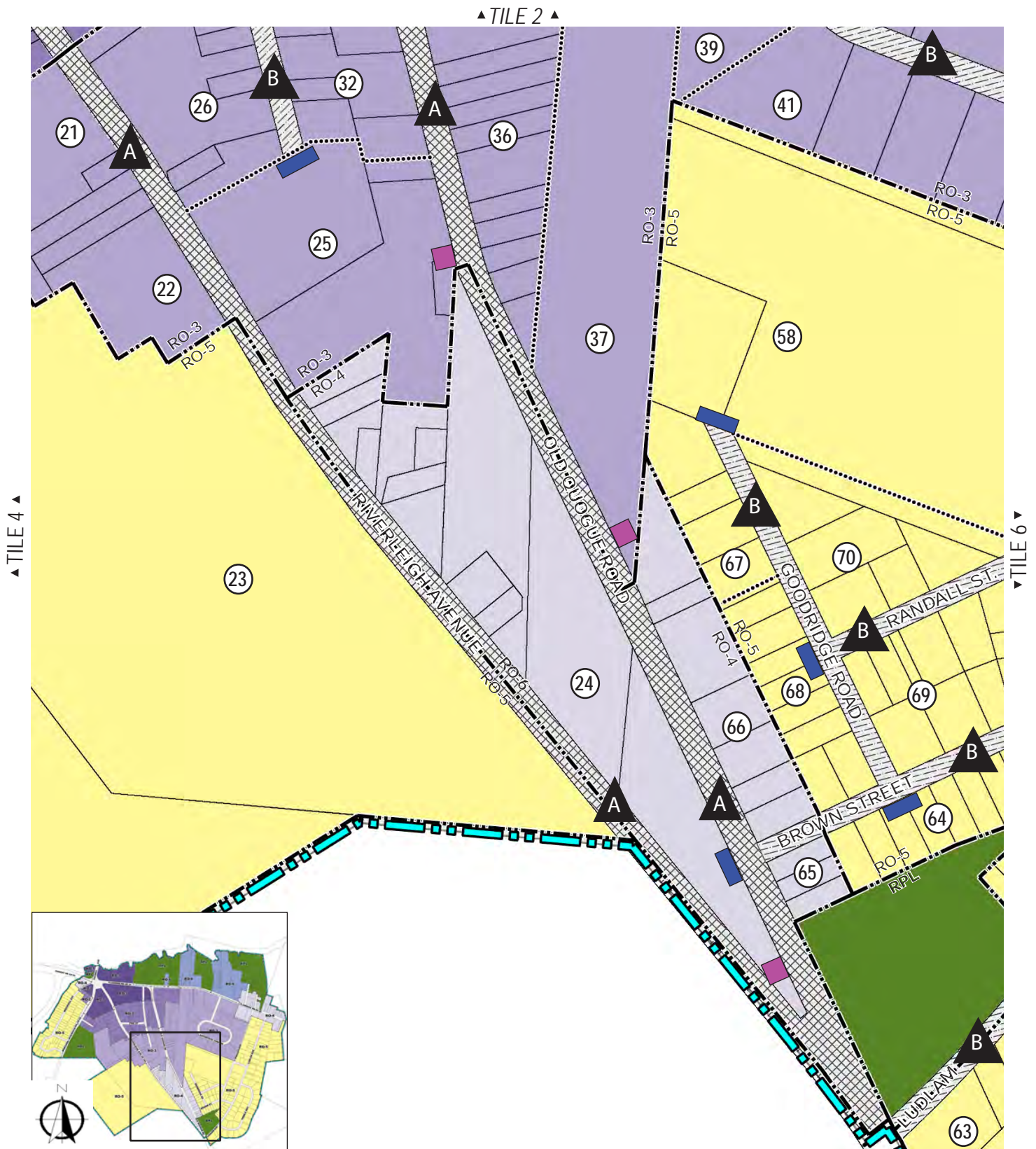


FIGURE 407-2G ZONING STANDARDS MAP TILE 6

T6

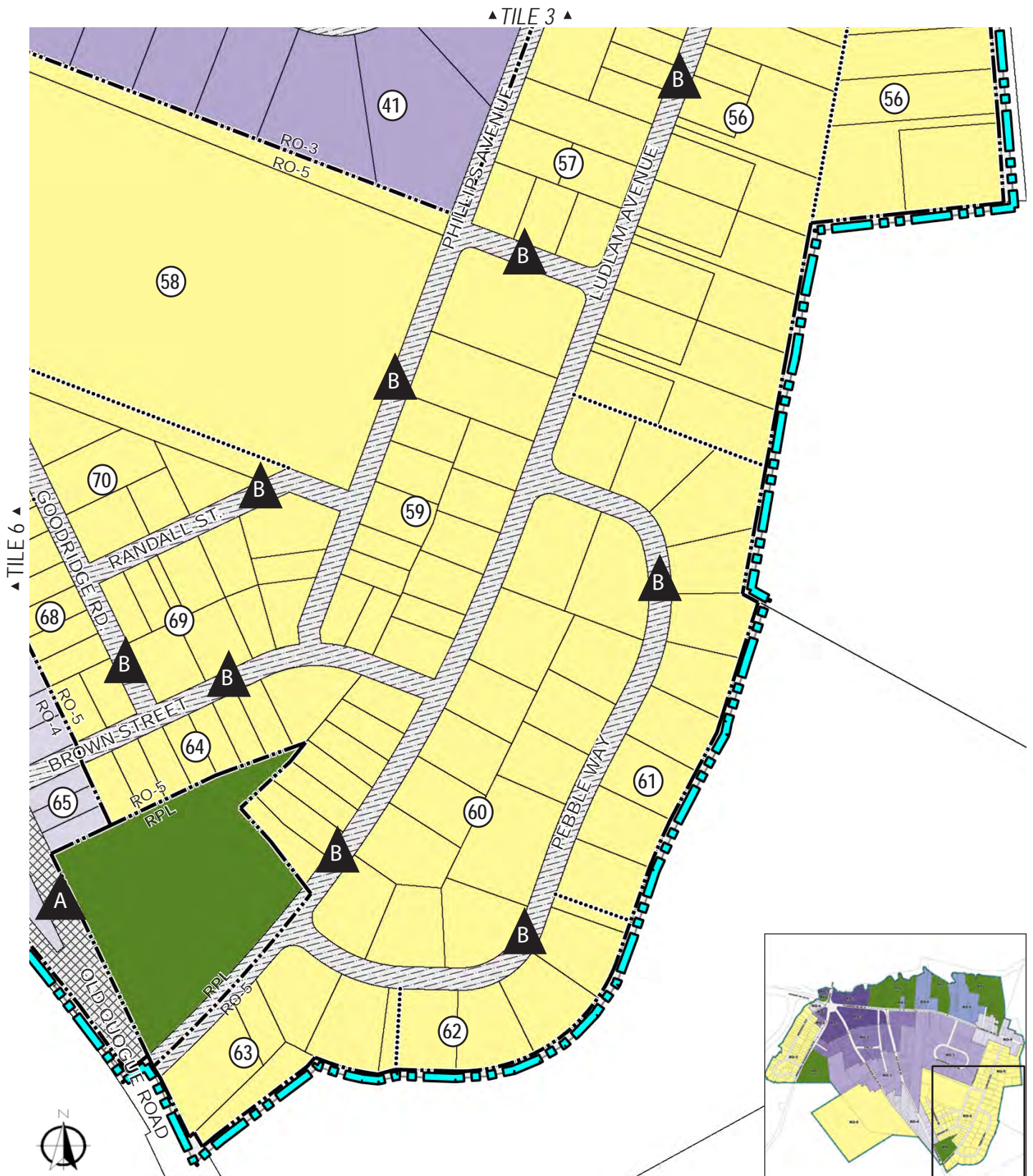


FIGURE 408-5 TABLE OF PERMITTED STREET TYPES

STREET ID	STREET TYPE	RO-1	RO-2	RO-3	RO-4	RO-5	RO-6	ROW	LANES	BIKE LANE	PARKING
AV-1	Avenue*	X	X	X	X	X	X	68'	3	SHARED	2S
AV-2	Avenue	P	P	P	X	P	P	62'	2	YES	X
AV-3	Avenue	P	P	P	X	P	P		2	YES	2S
ST-1	Street	P	P	P	P	P	P	52'	2	NO	2S
ST-2	Street										
ST-3	Street										
ST-4	Street										
LN-1	Lane	P	P	P	P	P	P	40'	1	SHARED	1S
LN-2	Lane										
LN-3	Lane	P	P	P	P	X	P	30'	2	SHARED	X
LN-4	Lane										
MW-1	Mews	P	P	P	P	P	P	24'	SHARED	SHARED	X
MW-2	Mews										
W-1	Walkway										
W-2	Walkway										
W-3	Walkway										

1S Parking on one side

2S Parking on two sides

M Landscape Median

* permitted only as existing street

lanes= traffic lane

FIGURE 408-A - AV-1: AVENUE

AVENUE WITH TWO WAY TRAVEL, CENTER TURN LANE & PARKING ON BOTH SIDES

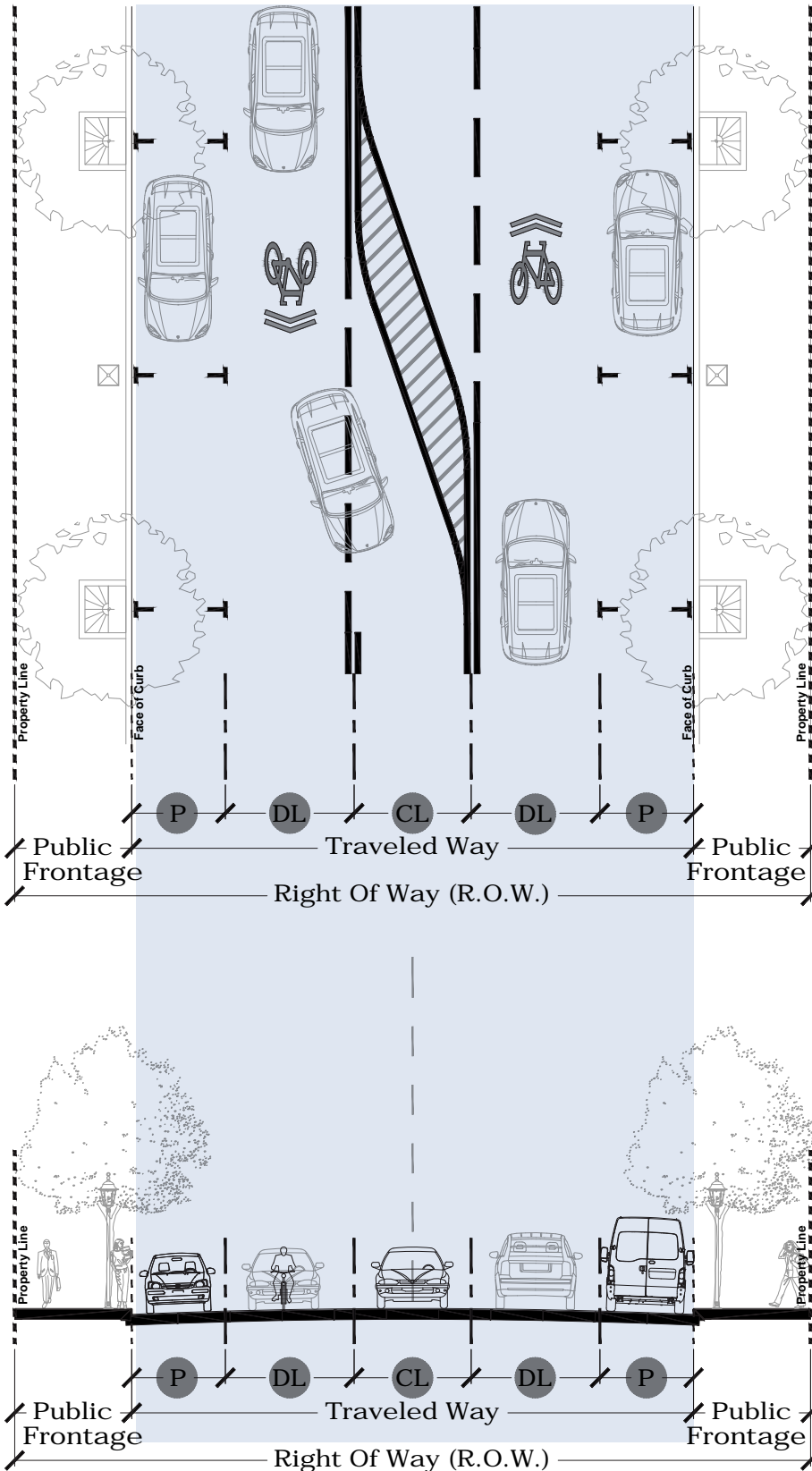


FIGURE 408-A - AV-2: AVENUE

AVENUE WITH TWO WAY TRAVEL AND BIKE LANE IN SHOULDER OF BOTH SIDES

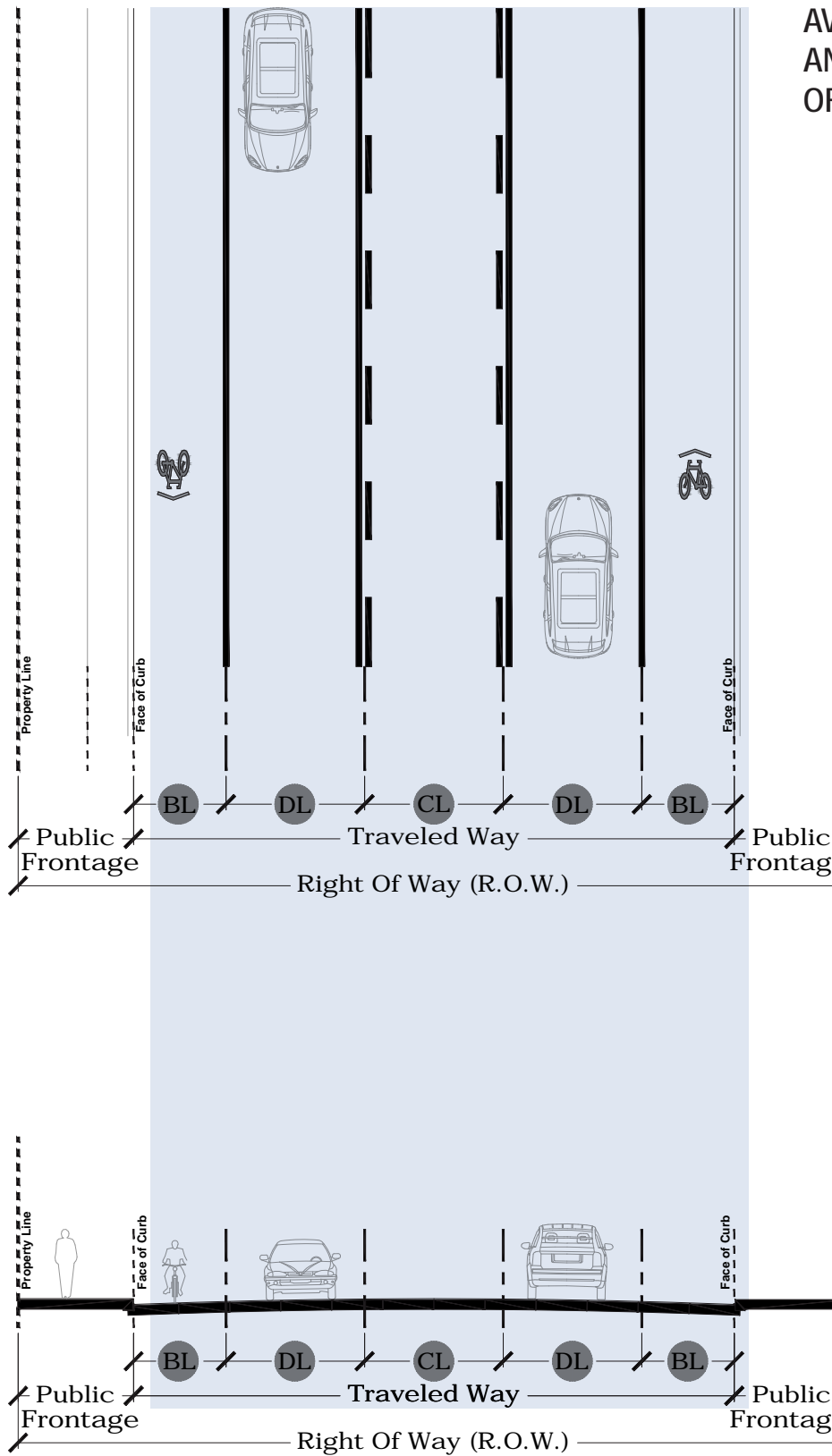
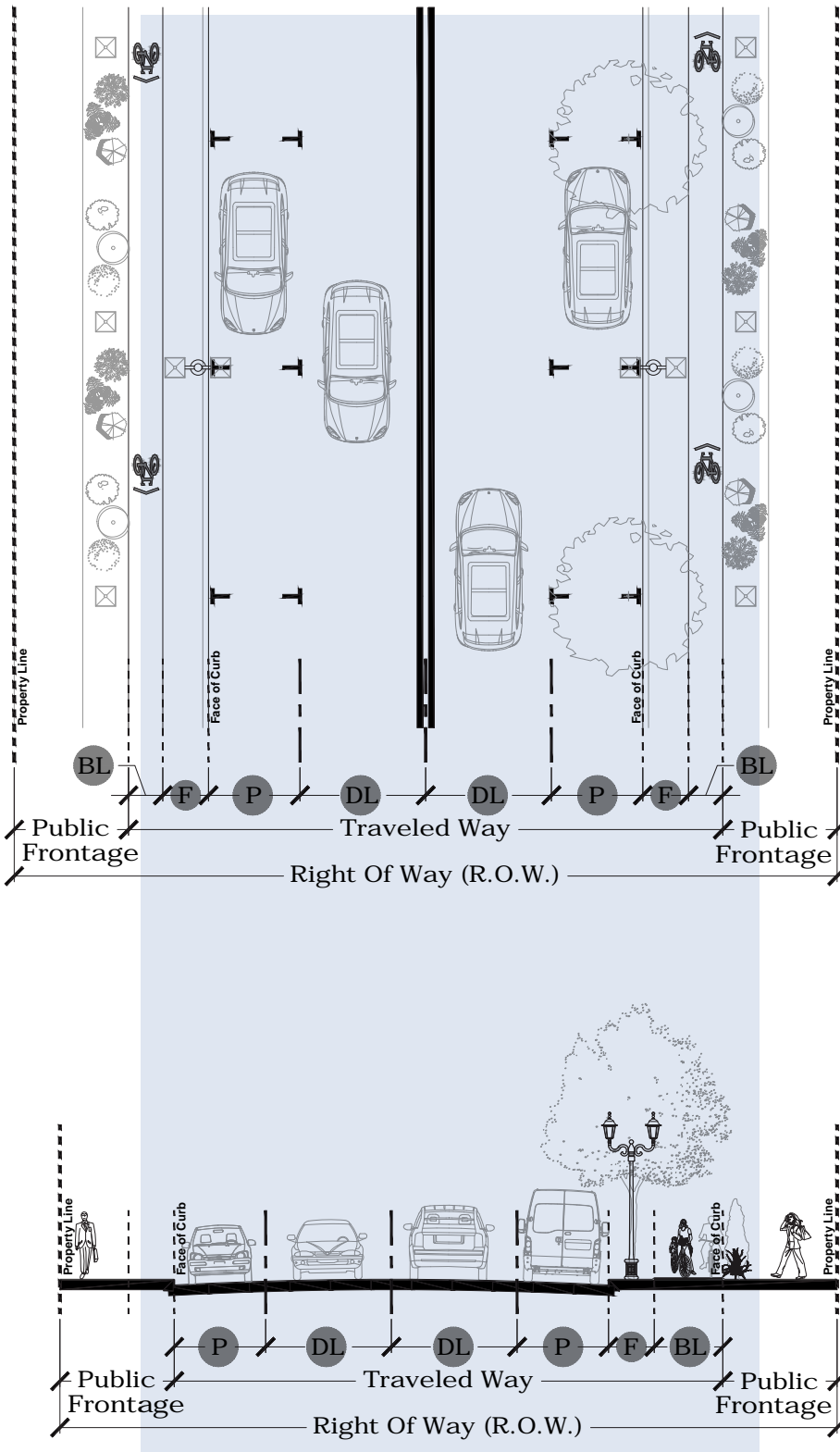


FIGURE 408-A -AV-3: AVENUE

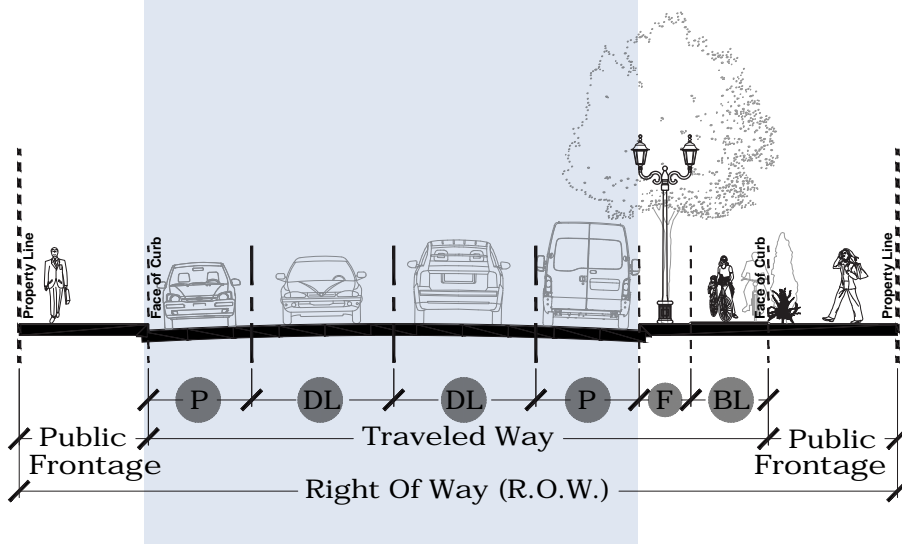
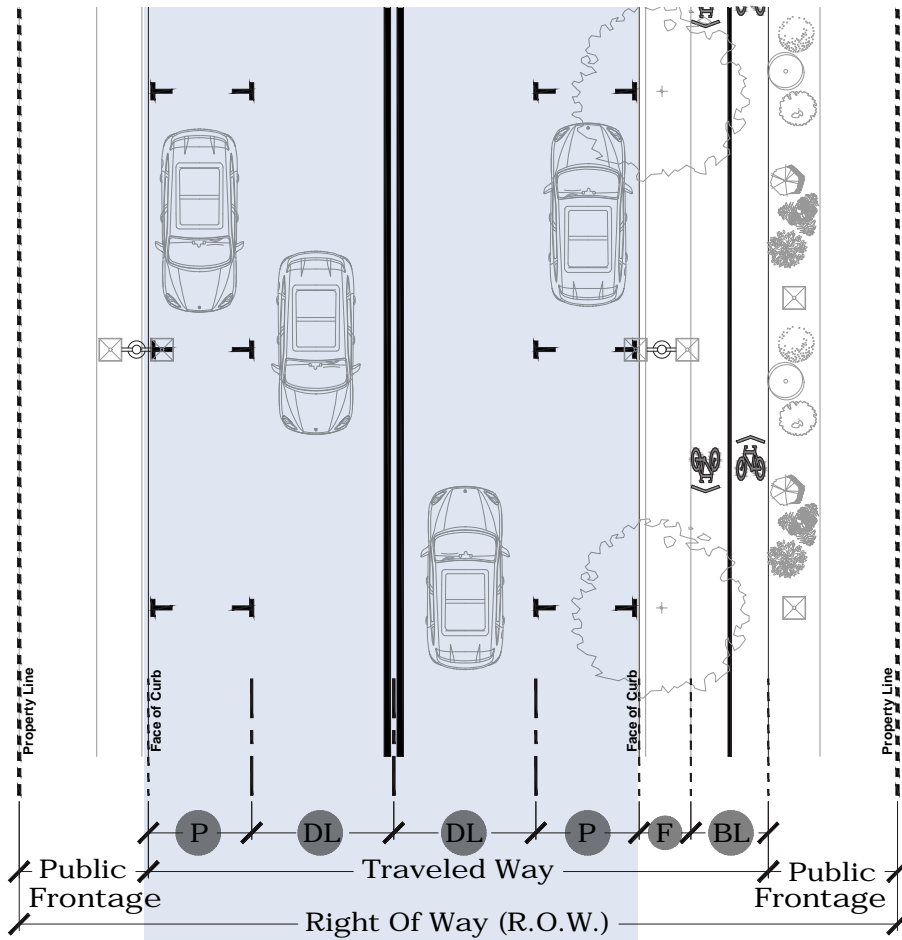
AVENUE WITH TWO WAY TRAVEL, PARKING AND BIKE LANES ON BOTH SIDE.



Two Way Travel W/Bike Lane & Parallel Parking Both Sides

FIGURE 408-A -AV-4: AVENUE

AVENUE WITH TWO WAY TRAVEL, PARKING ON BOTH SIDES, AND BIKE LANES ON ONE SIDE.



Two Way Travel W/Bike Lane & Parallel Parking Both Sides

FIGURE 408-A -ST-1: STREET

STREET WITH TWO WAY TRAVEL AND BIKE LANE IN SHOULDER OF BOTH SIDES

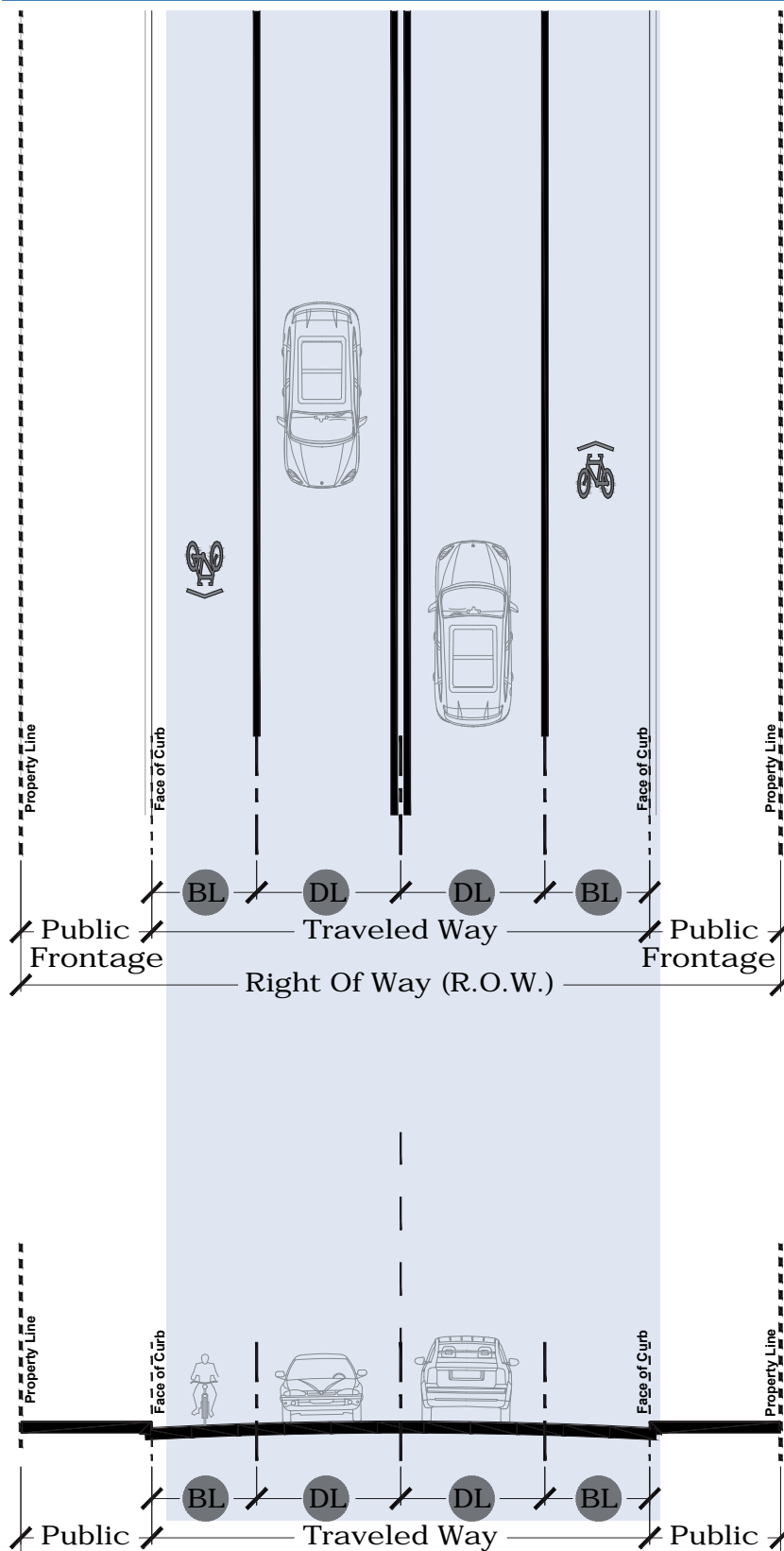


FIGURE 408-6 STREET B-3: STREET

STREET WITH TWO WAY TRAVEL AND PARALLEL PARKING ON BOTH SIDES

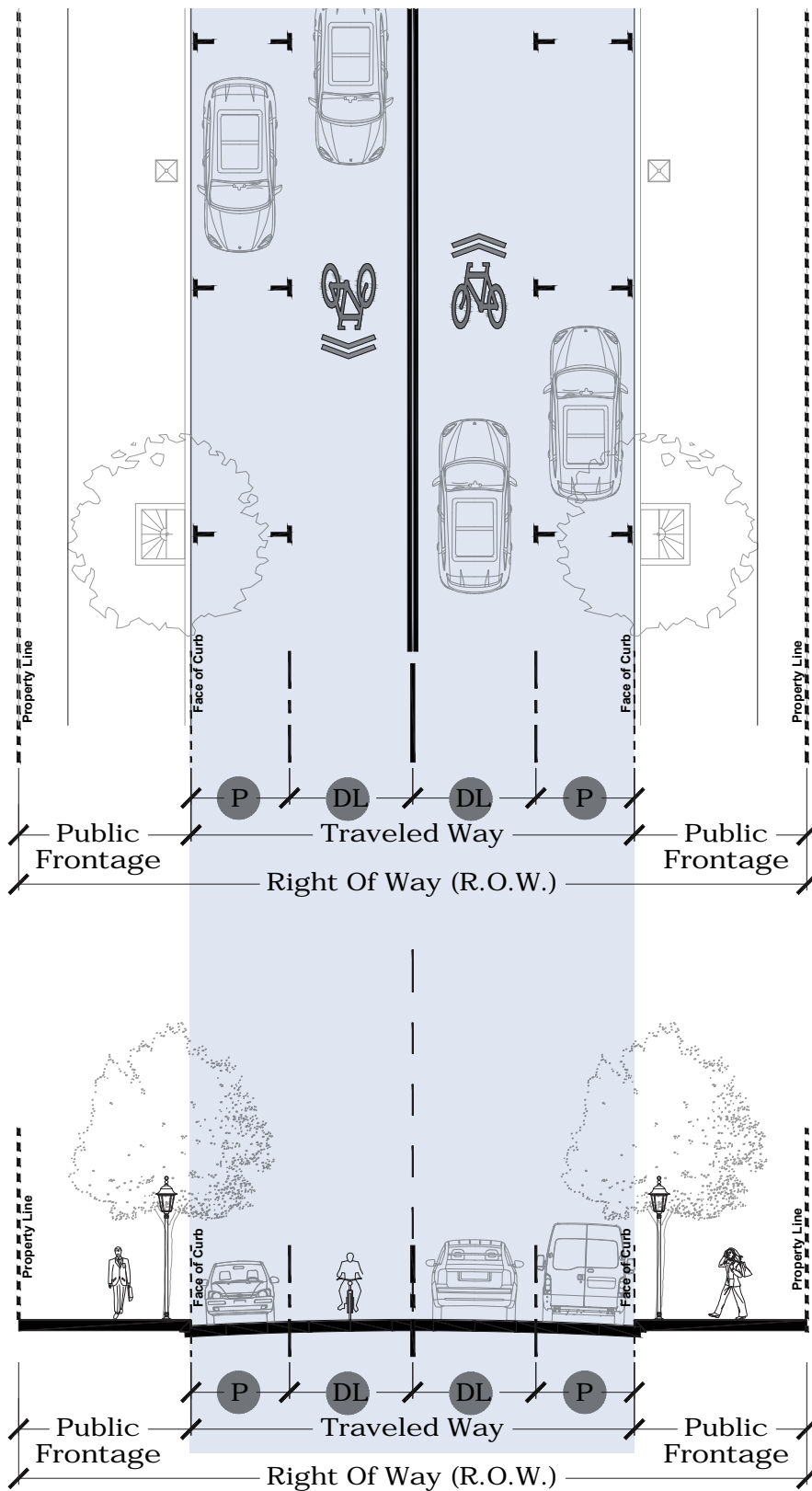
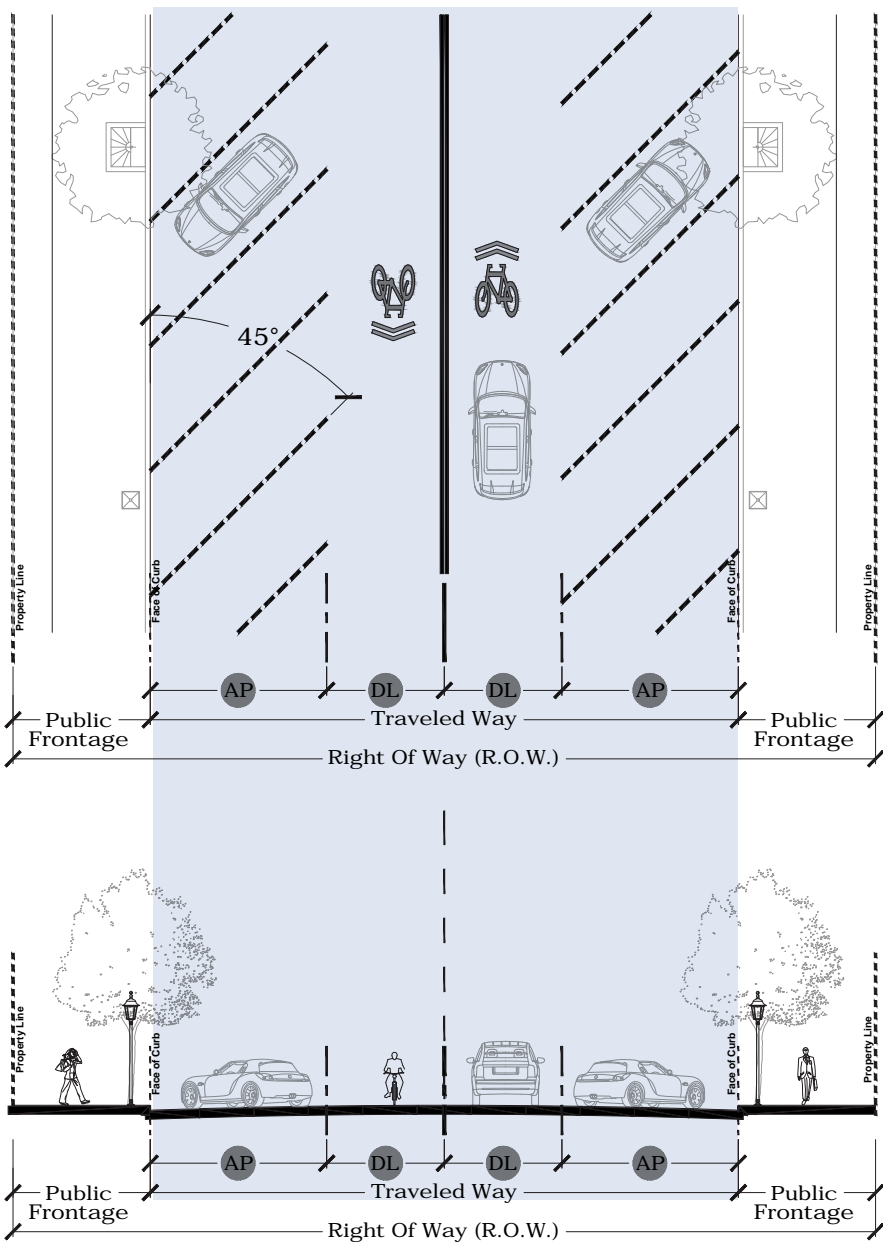


FIGURE 408-A-ST-4: STREET



TWO WAY TRAVEL WITH
ANGLED PARKING ON BOTH
SIDES

FIGURE 408-A - LN-1: LANE

LANE WITH ONE WAY TRAVEL AND PARALLEL PARKING ON BOTH SIDES

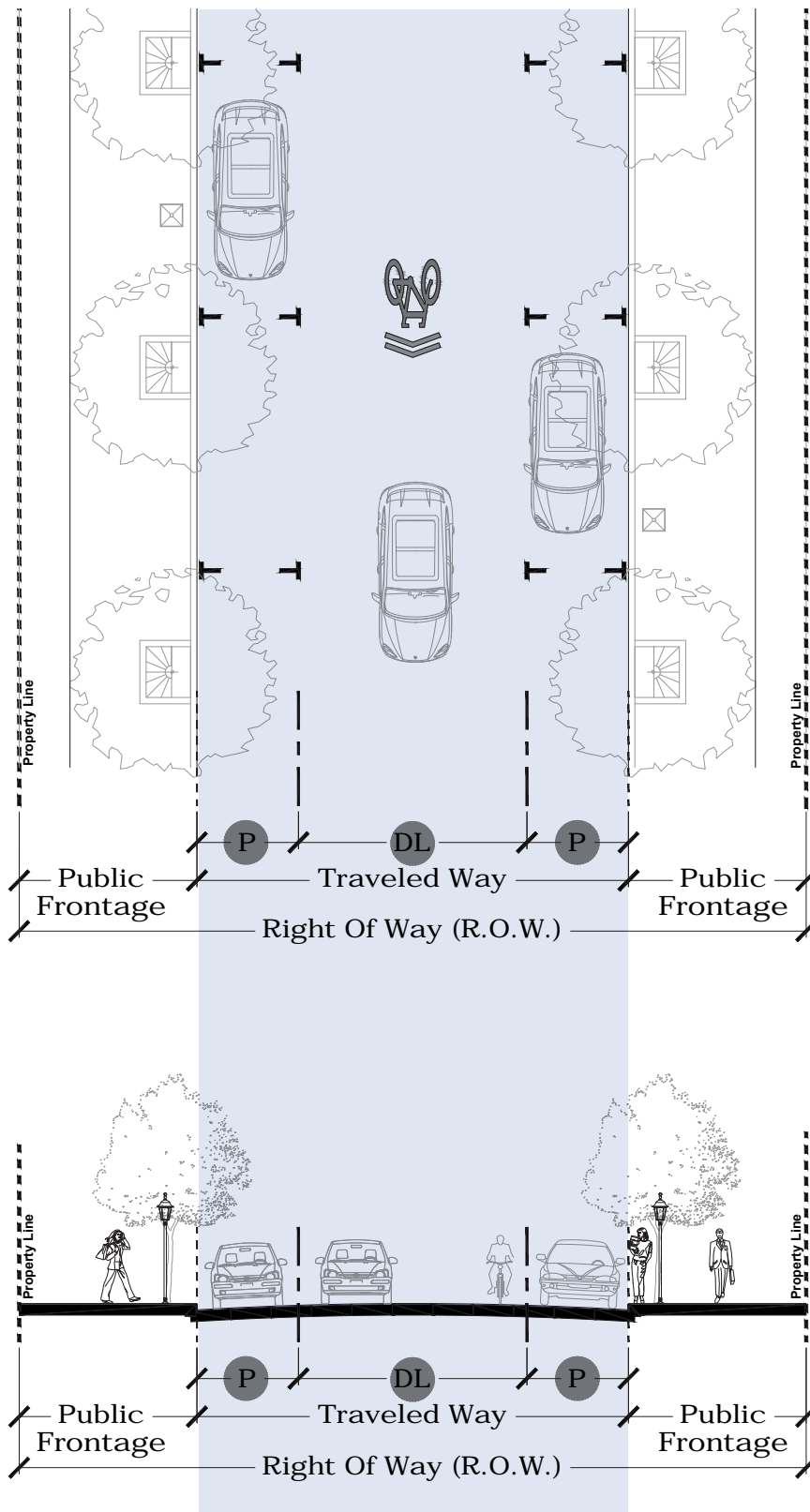


FIGURE 408-A - LN-2: LANE

LANE WITH ONE WAY TRAVEL AND PARALLEL PARKING ON ONE SIDE

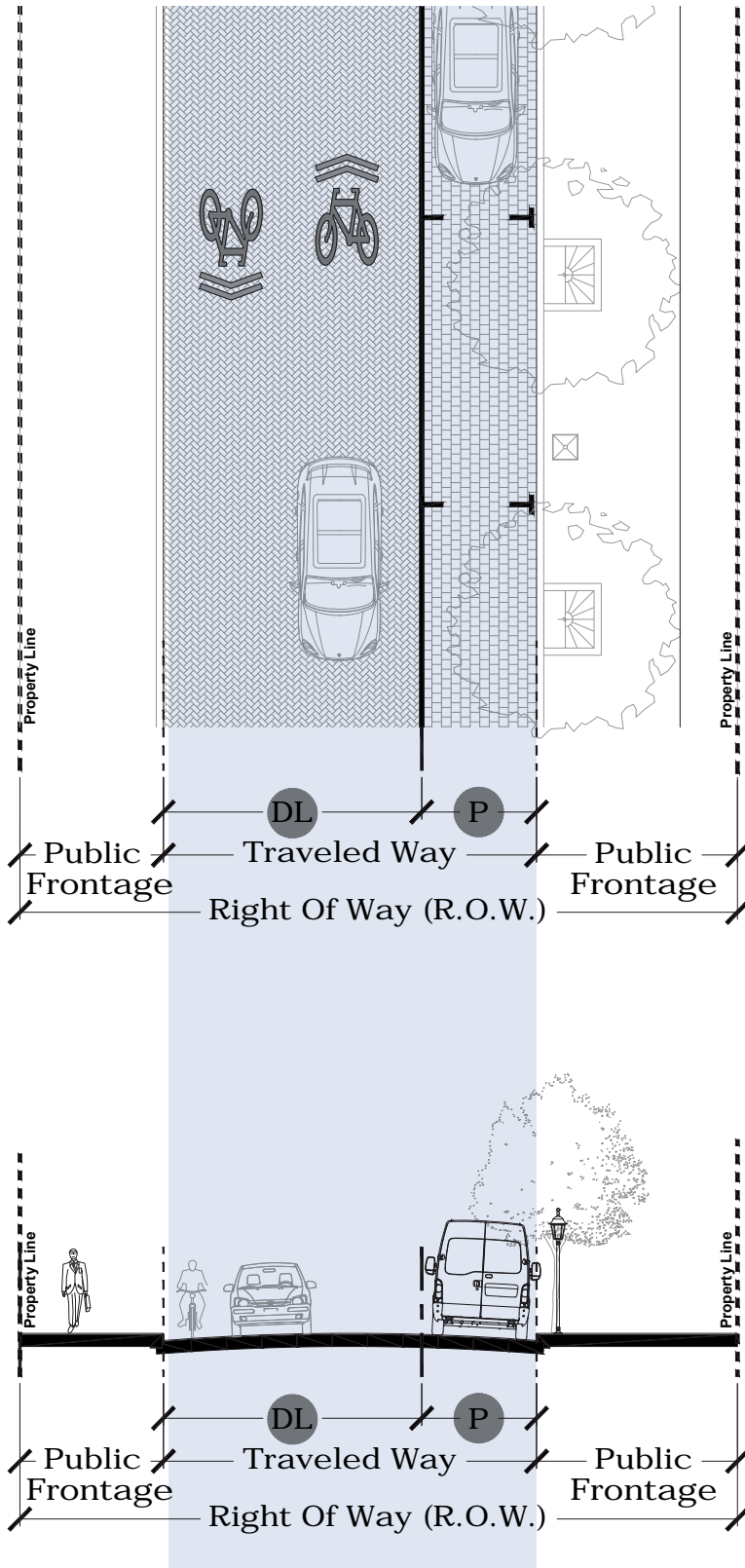


FIGURE 408-A - LN-3: LANE

LANE WITH ONE WAY TRAVEL
AND NO PARKING SOFT CURB

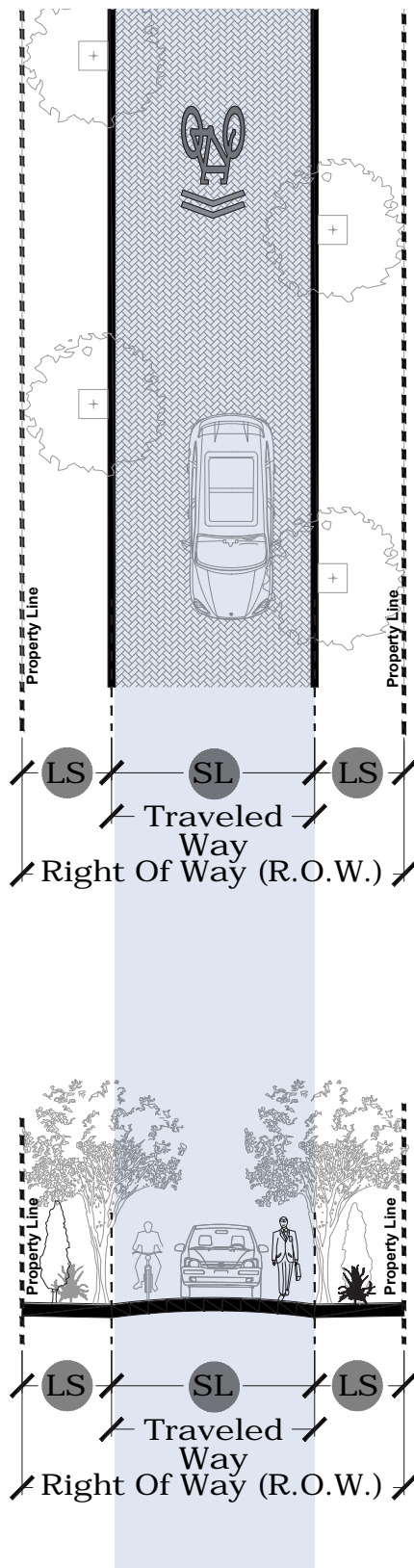


FIGURE 408-A - LN-4: LANE

LANE WITH TWO WAY TRAVEL AND PARKING ON BOTH SIDES

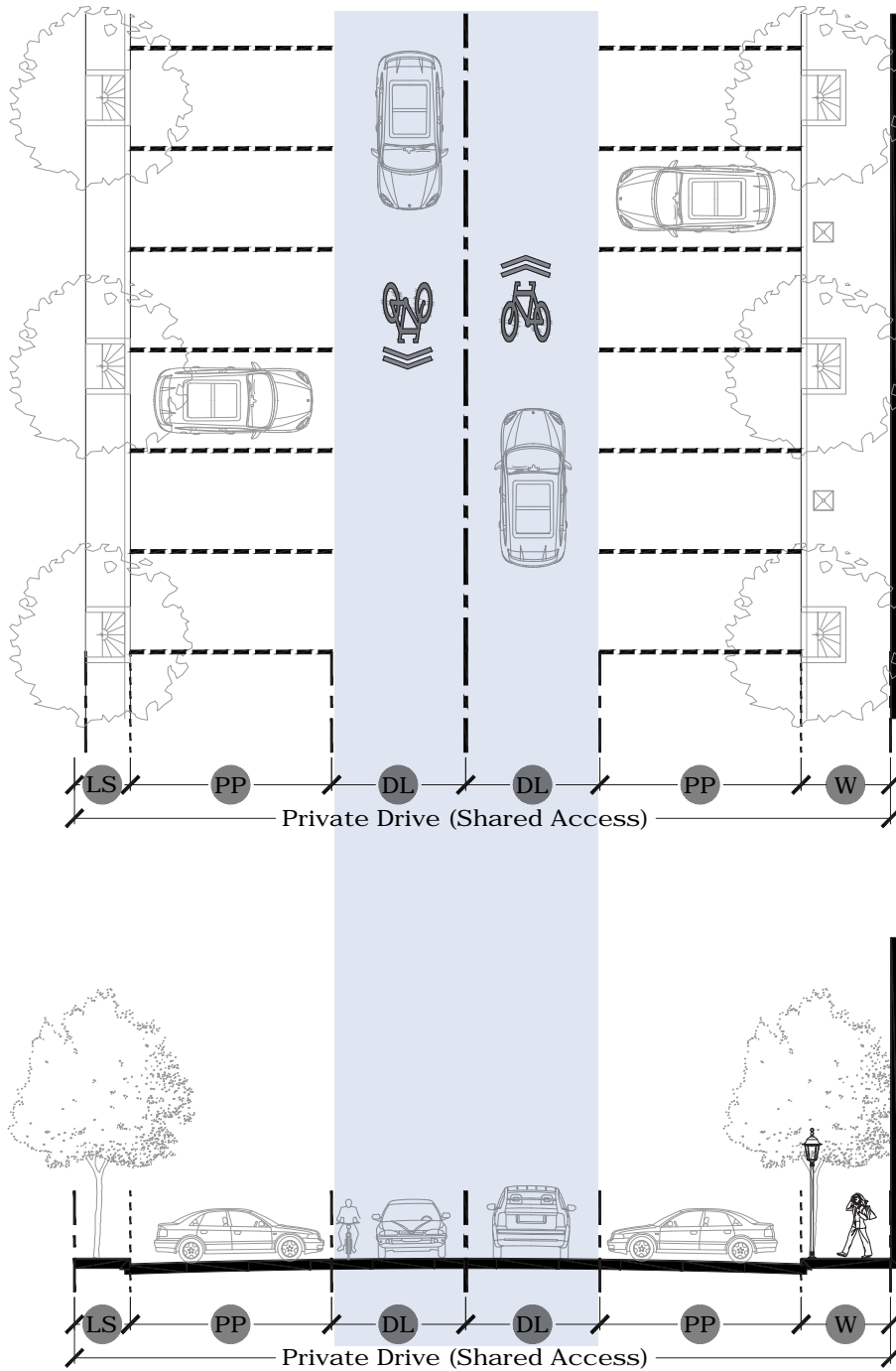
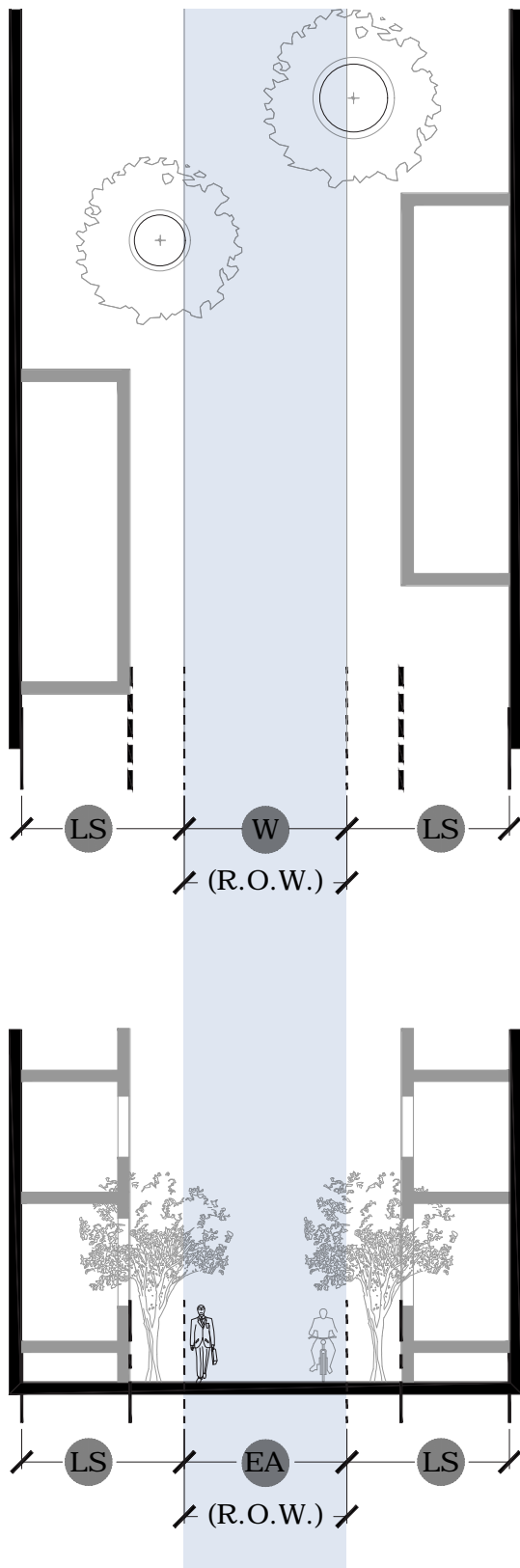
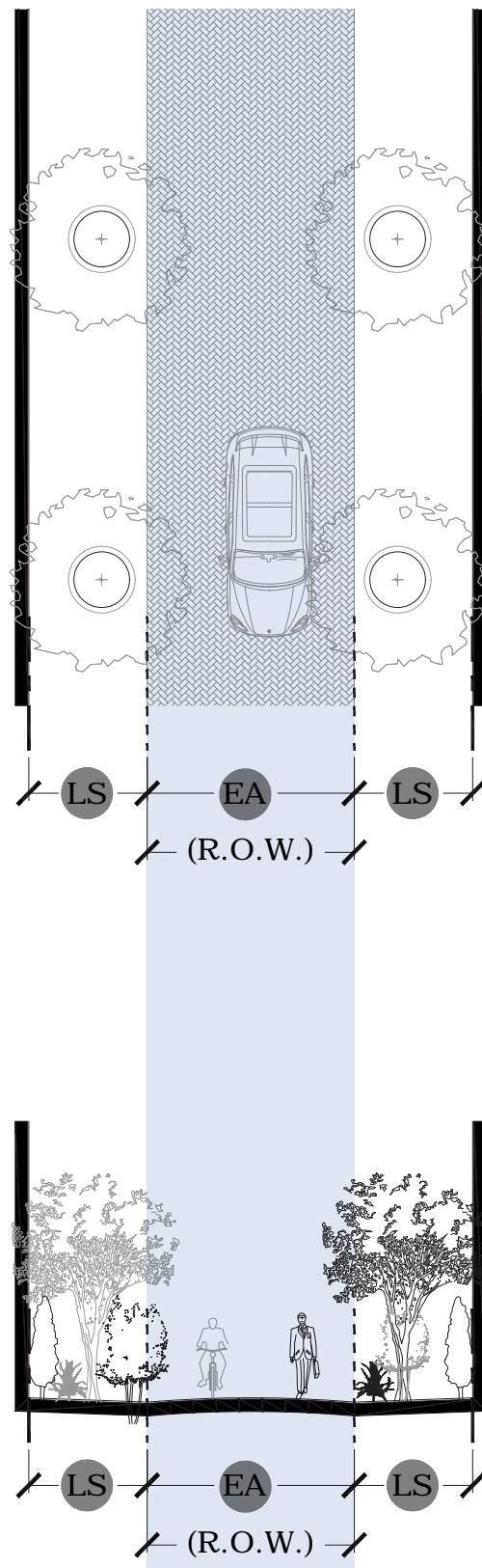


FIGURE 408-A- MW-1: MEWS



MEWS WITH EMERGENCY
AISLE/PEDESTRIAN WAY WITH
ENCROACHMENT

FIGURE 408-A - MW-2: MEWS



MEWS WITH EMERGENCY AISLE/PEDESTRIAN WAY

FIGURE 408-A - W-1: WALKWAY

WALKWAY WITH PEDESTRIAN ACCESS AT SENSITIVE CONDITIONS

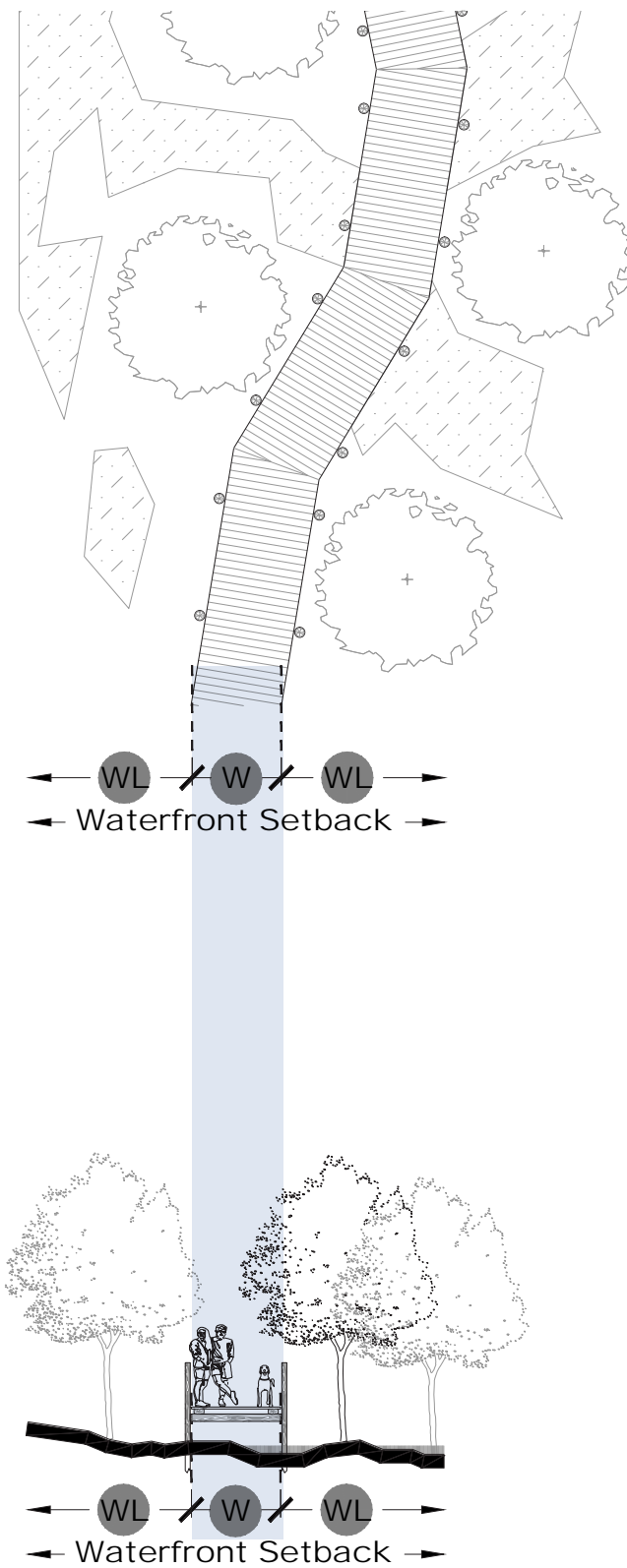
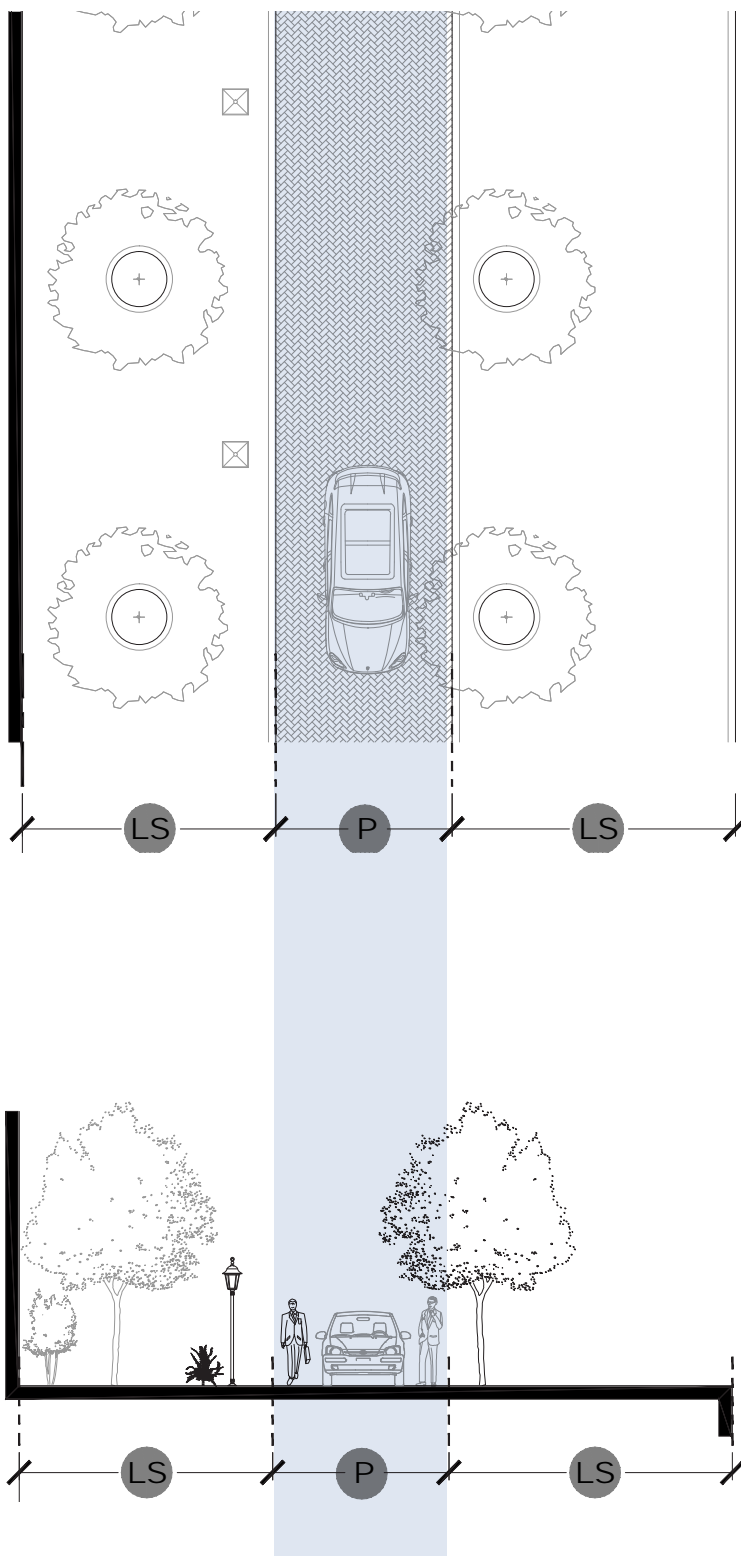


FIGURE 408-A - W-2: WALKWAY

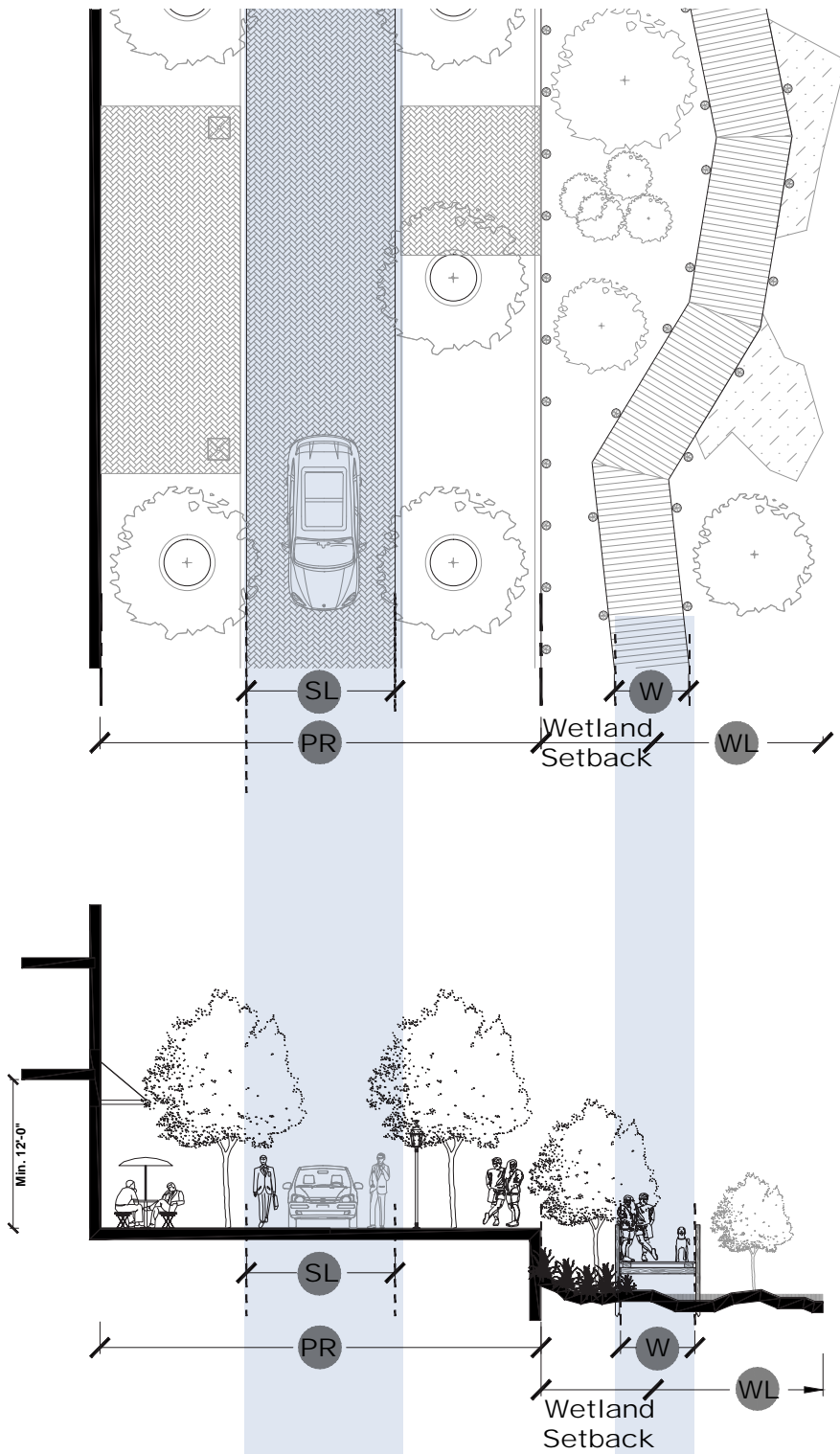
WALKWAY WITH WATERFRONT
PROMENADE / EMERGENCY
ACCESS



Waterfront Promenade / Emergency Access

FIGURE 408-A - W-3: WALKWAY

WALKWAY WITH WATERFRONT PROMENADE / EMERGENCY ACCESS



Shared Emergency Access/Pedestrian Way
(Diagrammatic, Not to Scale)

408. B. PUBLIC FRONTAGE

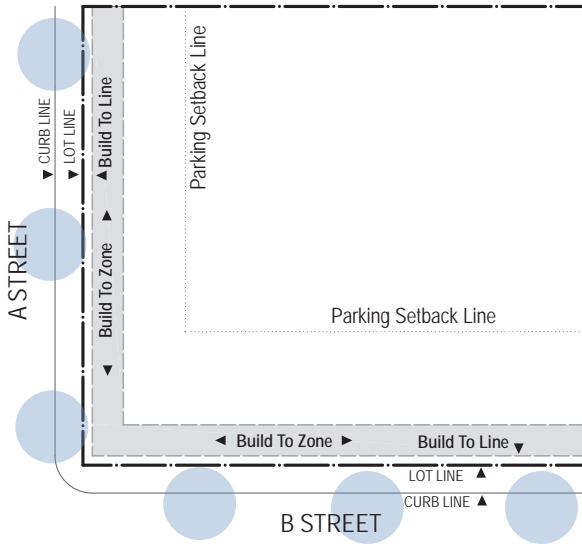


Figure 408-5: Lot Description Diagram

- (1) Public Frontage Standards
 - (a) The design, rehabilitation and construction of public frontages within the public right-of-way, including curbs, shall be the responsibility of the Applicant, according to the design standards established in this Article and any associated design guidelines adopted by the Planning Board. The Applicant is responsible for obtaining approval of such improvements from all agencies with jurisdiction over the public right-of-way.
 - (b) All Sites shall provide at least one public frontage and that frontage shall be located along a public street.
 - (c) Where the required build-to-line as identified herein would be located within the public street right-of-way, the Build-To-Line shall instead be placed at the front lot line(s).
 - (d) To qualify for development using the provisions of this Article, all sites shall meet the minimum site area and site frontage requirements as defined in Section 330-410 and comply with the Build-To-Line and Build-To-Zone requirements in Section 330-410. See Public Frontage Diagram.

- (2) Street Types

Street Types establish the width of public frontages and character of those streets. All streets shall be designated as one of the following:

 - (a) A Street - A primary street, designed to promote the most active pedestrian and commercial activity in the downtown, with a 12' public frontage on both sides of the street offering the greatest flexibility and opportunities for pedestrian-oriented streetscape design and storefront activity.
 - (b) B Street – A secondary street, designed to promote active pedestrian activity in the downtown, with a 17'-6" public frontage on both sides of the street offering opportunities for pedestrian-oriented streetscape design and occasional storefront activity.
 - (c) C Street - A tertiary street, designed to provide access and service access to lots, with a minimum 6'-0" public frontage on at least one side of the street.

408. B. PUBLIC FRONTAGE (CONTINUED)

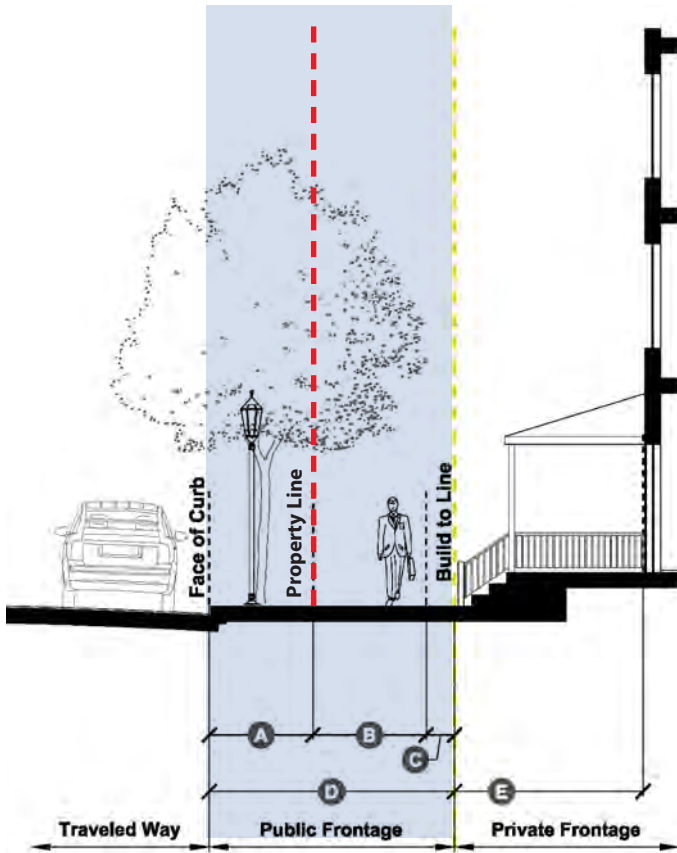


Figure 408-6: Public Frontage Diagram

(3) Public Frontages shall consist of the following elements:

LANDSCAPE AND FURNISHING ZONE (A)	
i.	The area between the face of curb and a line parallel to the face of curb determined by Street Type
ii.	Allows for placement of parking fee meters, street signage, street lighting, bike racks, refuse receptacles, etc
iii.	Allows for street trees and bioretention areas.
iv.	Allows for transit stop waiting and enclosure areas.
v.	Allows for seating furniture (benches) and extended outdoor dining areas.
PEDESTRIAN CLEARWAY (B)	
i.	The area between the Landscape and Furniture Zone and a line parallel to the face of curb but before the Frontage Transition Zone as determined by Street
ii.	Allows for the clear passage of pedestrians in the Public ROW
TRANSITION ZONE (C)	
i.	Area between the Pedestrian Clearway and the Build-to-Line.
ii.	Allows for placement of building fixtures (lighting, signage, projected architectural moulding etc), removable planters, and signage boards.
iii.	Serves as an extended entrance and storefront interaction area.
REQUIRED WIDTH OF PUBLIC FRONTAGE (D)	
PRIVATE FRONTAGE (Build-To-Zone) (E)	

	(A)	(B)	(C)	(D)	(E)
A Street*	4'-6"	5'-6"	2'	12'	As regulated by Frontage Type
B Street*	5'-6"	6'	6'	17'-6"	As regulated by Frontage Type
C Street**	6" min	4' min	1'-6" min	6' min	As regulated by Frontage Type

* Street Types shall include Public Frontage on both sides of Traveled Way

** C-Street** shall include a minimum of one Public Frontage on one side of Traveled Way

408. C. BLOCK STANDARDS

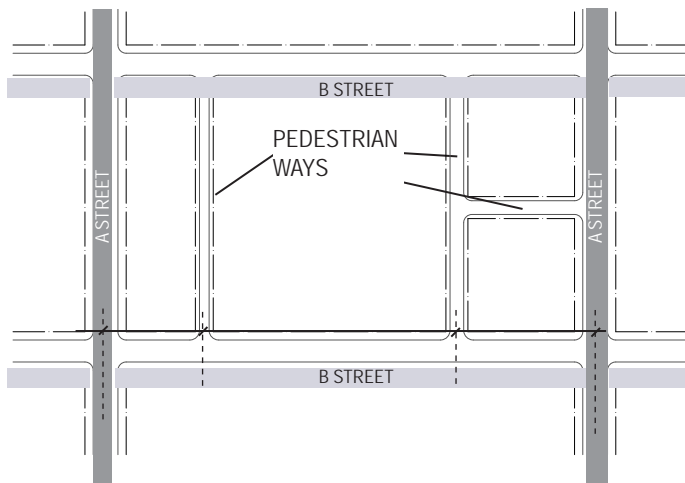


Figure 408-7: Mid-block pedestrian way connectivity

Mid-Block Pedestrian Way Connectivity

Site plans shall promote a connected network linking each Site to its surrounding block and neighborhood including building entrances, civic spaces, private open spaces, pedestrian ways, sidewalks, access lanes and streets.

Where blocks facing A Streets or B Streets are 500 feet or longer, Sites with more than 200 feet of street frontage may be required to provide mid-block pedestrian ways and/ or civic spaces at least 16 feet in width-to connect the front of the Site to existing or planned pedestrian ways at the rear of the Site. The purpose of this provision is to reduce the length of uninterrupted block frontages and provide a lighted and connected network of walkways through large blocks.

SECTION 330-408 STREET AND BLOCK DEVELOPMENT STANDARDS

This section defines the minimum street and block standards required to provide block configurations, traveled way improvements, public frontage improvements, site access and site frontages for the development of Sites, streets and/or access lanes.

408 A. STREET AND TRAVELED WAY REQUIREMENTS

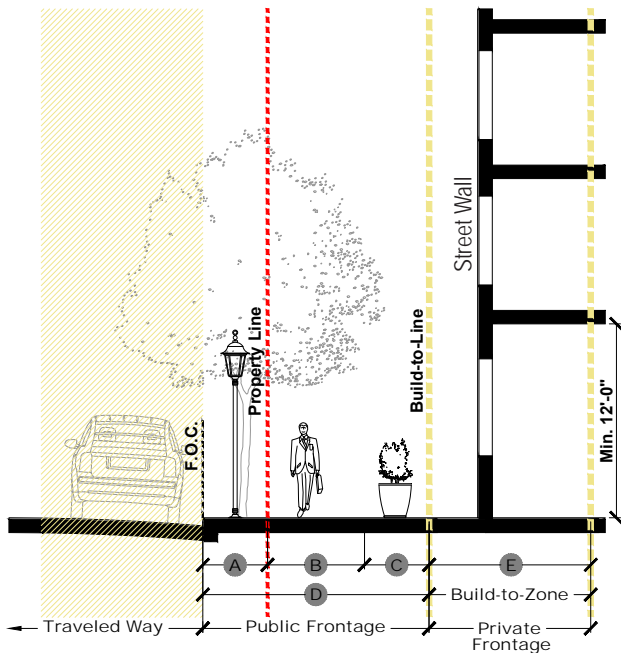


Figure 408-1: Public Frontage Diagram

(1) Street Type Designations

Through the process of block development as described in this Article, the Planning Board shall designate all new streets as A Streets, B Streets or C Streets to reflect the importance of pedestrian and commercial activity, the intended form of development, and the need for traffic management along that street.

(2) Traveled Way Responsible Parties

- (a) The design, maintenance and rehabilitation of an existing traveled way shall be the responsibility of the owner of such traveled way (e.g. Town County, or State).
- (b) The design and construction of new traveled ways shall be the responsibility of the applicant proposing new streets, shall comply with the street standards in the current Design Guidelines Manual adopted by the Town of Southampton for those streets, and shall be offered for dedication to the Town of Southampton.

(3) New Streets and Access Lanes

- (a) Design Guidelines Manual for Street and Access Lanes
 - i. The Planning Board may prepare, with the support and guidance of the Project Development Council (PDC), a Design Guidelines Manual with provisions to establish standards and guidance on the design of new Streets and Access Lanes. The Planning Board may require applicants to comply with the provisions of this Manual.
 - ii. Site Access Standards
 - a. The Planning Board may require, following recommendation by the PDC, sites to provide for pedestrian access, service access, and loading access within a reasonable distance from a public street or access lane.

408 A. STREET AND TRAVELED WAY REQUIREMENTS (CONTINUED)

b. The Planning Board may require, where appropriate and necessary; provision of adequate access to a Site, a minimum 16 foot wide access easement at one or more locations within the site, at the side(s) of the site, or at the rear of the site on the street level, with a clear vertical area of 14 feet.

c. The Planning Board may require the Applicant to design streets and access lanes to connect to other access lanes, streets, loading areas, parking areas or parking structures on the applicant's site or on adjacent sites.

d. The Planning Board may require the Applicant to create pedestrian ways, access lanes, or streets within the designated access easements, and may require these ways, lanes or streets to connect to existing streets. The Planning Board may also require adjoining property owners to combine access easements from adjoining sites to create an interconnected network of streets, access lanes and pedestrian ways.

e. All buildings shall provide a primary pedestrian entrance from the building frontage facing the Street Type of the highest order, with A Streets as the highest and C Streets as the lowest order.

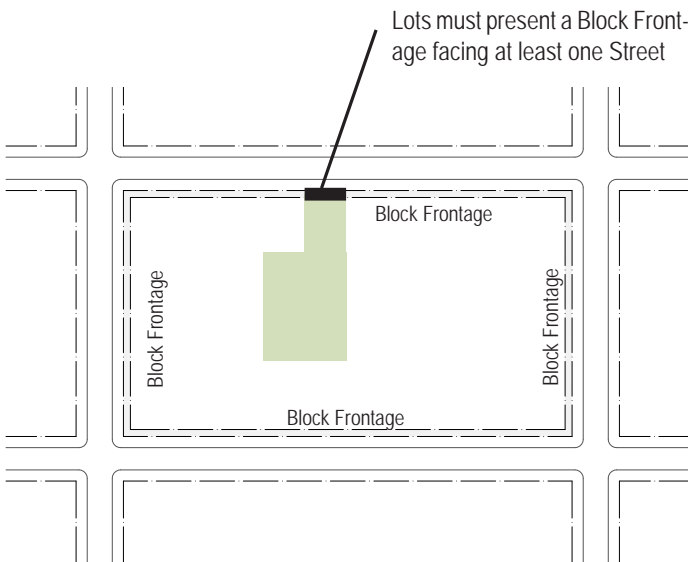


Figure 408-2: Lot Frontage Diagram

(4) **New Intersection Standards**

- (a) Upon site plan approval, all existing curb cut and site access privileges to a site shall be extinguished and applicants shall provide access to the site as prescribed in the site plan approval.
- (b) Site access requirements are defined in Section 410.
- (c) The Planning Board and the PDC shall encourage and facilitate the coordination of design and construction of new street and new intersections with existing and proposed development on the opposite side of an A Street, B Street or C Street within another block; however, the Plan-

408 A. STREET AND TRAVELED WAY REQUIREMENTS (CONTINUED)

- ning Board and PDC shall not interpret these standards to prohibit development on opposing blocks if a safe means of access to those sites can be reasonably accomplished through careful planning and coordination.
- (d) To the greatest extent possible, opposing Street and Access Lane center lines shall align with each other, unless the Planning Board, after recommendation by the PDC, approves otherwise.
 - (e) The Planning Board, after recommendation by the PDC, shall have the authority to approve the location and placement of new intersections.

409. CIVIC & PRIVATE OPEN SPACE STANDARDS

A. Limitation on Applicability

This Section 330-409 applies only within the RO-1, RO-2, RO-3, RO-4, RO-5, and RO-6 zones.

B. General Civic Space and Private Open Space Requirement

Each site shall provide a minimum of 10% of its Site area in the form of Civic Space and a minimum 5% as Private Open Space or demonstrate alternate compliance as defined in Section 409.C below.

C. Provision of Civic Space

All Sites shall provide Civic Space by one or a combination of the following methods:

- (1) Where a site is 15,000 SF or more in area an applicant may provide the civic space on-site in the form of one or more of the permitted civic space types listed in Section 409.H.
- (2) Where a site is less than 15,000 SF in area an applicant may contract and/or bond for placing such civic space on another site located within 1,000 feet of the site.
- (3) On any site, an applicant may elect to pay a fee-in-lieu for civic space calculated by a formula to be determined by the [TBD] based upon the Site area and the floor area of the proposed development. Such fees shall be deposited into a segregated fund used only to design and construct the required civic space at a location approved by the [TBD] following recommendation by the PDC.

D. Maintenance

- (1) Privately-Owned Civic Space shall be maintained by its owner or a private entity such as a Property Owners Association, Municipal Improvement District or Business Improvement District.
- (2) Publicly-Owned Civic Space shall be maintained by its public owner or a contracted entity such as a Property Owners Association, Municipal Improvement District or Business Improvement District as approved by the [TBD].

E. Minimum Civic Space Standards

To qualify for designation by the Planning Board as a civic

space, the space shall:

- (1) Be in a form of ownership acceptable to the Town of Southampton.
- (2) Provide public access at least 16 hours per day.
- (3) Be located at the ground level.
- (4) Adhere to the standards established for civic spaces in this Section.
- (5) With the exception of a civic space approved as a piazza, only those spaces directly contiguous to a public frontage and visible from the sidewalks on A Streets, B Streets or C Streets shall qualify as land eligible for credit as Civic Spaces.
- (6) A minimum of 15% of the Civic Space shall be provided with landscaping in the form of fountains, benches, open air covered pavilions, gardens, planting areas, tree canopy areas, or similar civic or natural features.

F. Civic Space Programming, Placement and Design Criteria

- (1) The following programming and design considerations, among others, shall be evaluated by the PDC in making their recommendation to the Planning Board:
 - (a) Solar orientation of Civic Space
 - (b) Amenities such as water features, public bathrooms, informational kiosks, drinking fountains, play & entertainment areas
 - (c) Facilities for the use, retention and recharging of rainwater
 - (d) Projected public access and likelihood of use
 - (e) Seasonal programming of the space
 - (f) Intensity of adjacent private frontage(s)
- (2) All Civic Spaces shall establish build-to-lines, at the perimeter of the area designated as civic space or open space, and the Build-To-Zone for the chosen private frontage shall be designated on the site plan. All civic spaces shall fulfill the frontage requirements of the private frontage, however exceptions may be granted by the Planing Board for pedestrian ways of less than 16 feet in width to permit mid-block connectivity.
- (3) Approved civic spaces fronting on streets with required build-to-zone occupancy requirements

shall permit the applicant for a site to remove that portion of the civic space street frontage from the frontage occupancy requirement of the underlying street frontage type.

G. Design Guidelines Manual for Civic Space

The Planning Board may prepare, with the support and guidance of the PDC, a Design Guidelines Manual with provisions to establish standards and guidance on the design of Civic Space. The Planning Board may require applicants to comply with the provisions of his Manual.

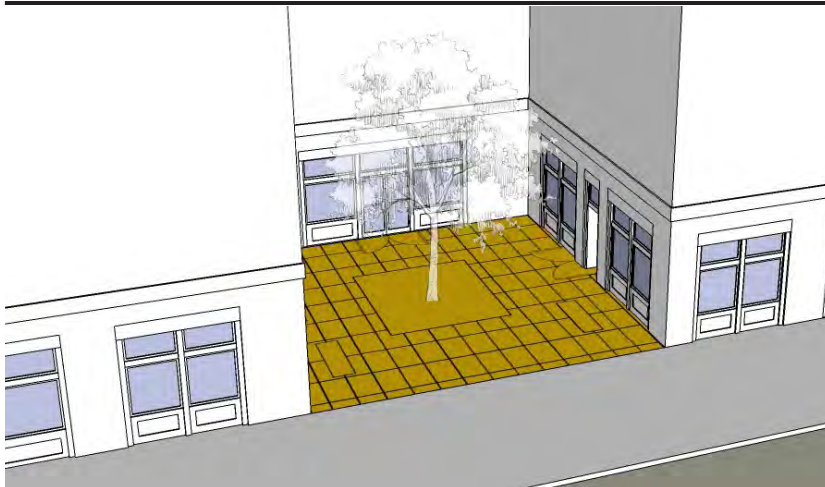
409.H. PERMITTED CIVIC SPACE TYPES

To qualify for designation as a Civic Space each proposed Public Civic Space or Privately Owned Civic Space must comply with one of the following permitted forms and fulfill the requirements associated with that Civic Space:

- (1) Plaza - See Figure 409-1
- (2) Corner Plaza - See Figure 409-2
- (3) Pocket Park - See Figure 409-3
- (4) Pedestrian Way - See Figure 409 - 4
- (5) Piazza - See Figure 409-5

- (6) Green - See Figure 409-6
- (7) Square - See Figure 409-7
- (8) Streetscape Enhancement Areas
Those streetscape areas designed and constructed to provide high quality paving materials, street furnishings, pedestrian-oriented lighting, and landscaping requirements. These areas may include places designed for pedestrian-only, vehicular-only or shared pedestrian-vehicular use
- (9) Public Sidewalk areas along new streets

FIGURE 409-1 PLAZA



A civic space framed by buildings on 3 sides characterized by paving and at grade access to a public frontage.

PERMITTED FRONTAGE TYPES - See Sec. 410

FR-1 Storefront **FR-3** Hamlet

FR-2 Arcade **FR-6** Forecourt

FIGURE 409-2 CORNER PLAZA



A civic space framed by buildings on 2 sides and public frontages on 2 sides characterized by paving and at grade access to a public frontage.

PERMITTED FRONTAGE TYPES - See Sec. 410

FR-1 Storefront

FR-2 Arcade

FIGURE 409-3 POCKET PARK

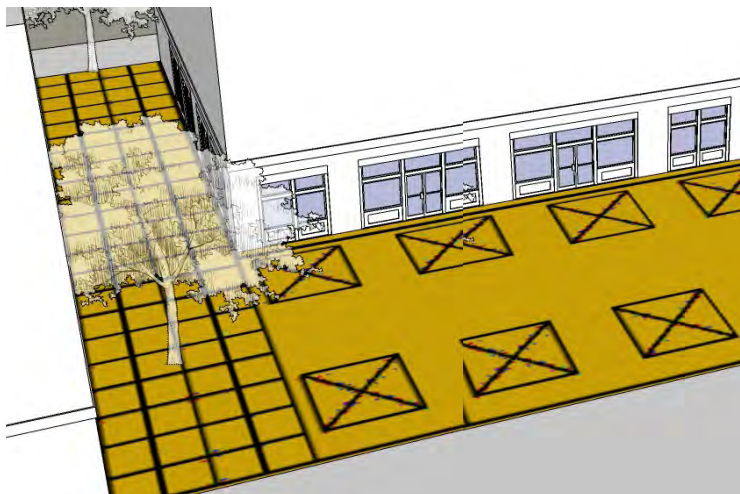


A civic space framed by buildings on at least 1 side and activated by adjoining Frontages. The significance and intensity of use is expressed through more intensively used "harder" landscaping.

PERMITTED FRONTAGE TYPES - See Sec. 410

- | | |
|------------------------|-----------------------|
| FR-1 Storefront | FR-4 Porch |
| FR-2 Arcade | FR-5 Stoop |
| FR-3 Hamlet | FR-6 Forecourt |

FIGURE 409-4 . PEDESTRIAN WAY



The Pedestrian Way is characterized by paving and at grade access to its connections, and activated by designated Frontage types.

PERMITTED FRONTAGE TYPES - See Sec. 410

- | | |
|------------------------|-----------------------|
| FR-1 Storefront | FR-4 Porch |
| FR-2 Arcade | FR-5 Stoop |
| FR-3 Hamlet | FR-6 Forecourt |

FIGURE 409-5 PIAZZA



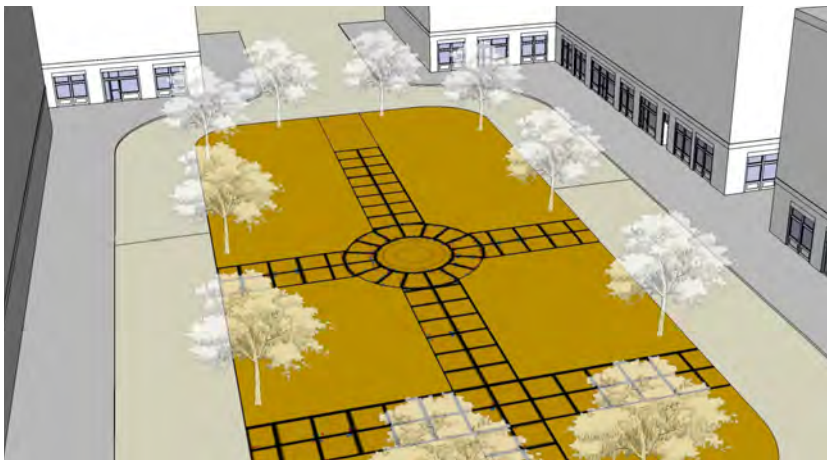
A civic space framed by buildings on at least 3 sides and a public frontage on no more than 1 side. Characterized by paving and at grade access. Piazza is a highly active public place programmed with retail, restaurant, hospitality, entertainment, cultural and/or civic uses. The Piazza must connect to at least 3 perimeter streets directly or via other civic spaces.

PERMITTED FRONTAGE TYPES - See Sec. 410

FR-1 Storefront

FR-2 Arcade

FIGURE 409-6 GREEN



A civic space surrounded by streets on at least 2 sides featuring a community gathering place with trees, paved area, sitting area and may have a cultural, civic or commercial building generally open to the public. Green tends to be less formal and urban in nature, in contrast to a Square, with more "soft" landscaped areas.

PERMITTED FRONTAGE TYPES - See Sec. 410

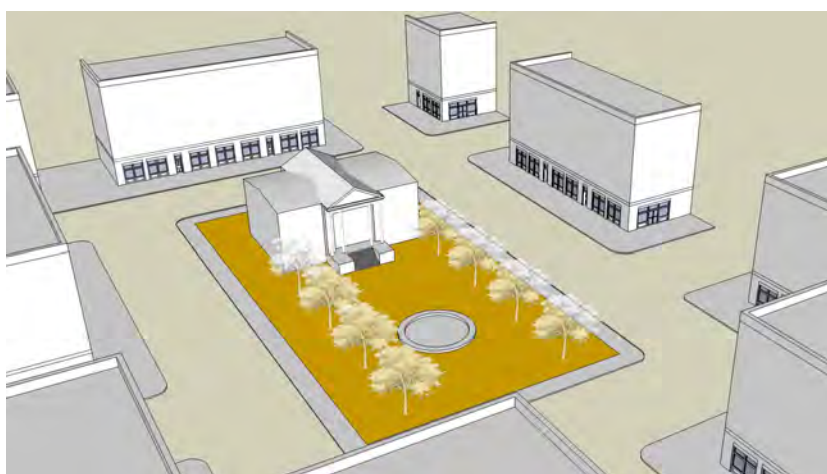
FR-1 Storefront

FR-3 Hamlet

FR-2 Arcade

FR-6 Forecourt

FIGURE 409-7 SQUARE



A civic space surrounded by streets on at least 3 sides, that forms focal points in the public space network, featuring a community gathering place with trees, paved area, sitting area and may have a cultural, civic or commercial building generally open to the public. Square tends to be more formal and urban in nature, in contrast to a Green. The significance and intensity of a Square is typically expressed through more intensively used "harder" landscaping.

PERMITTED FRONTAGE TYPES - See Sec. 410

FR-1 Storefront

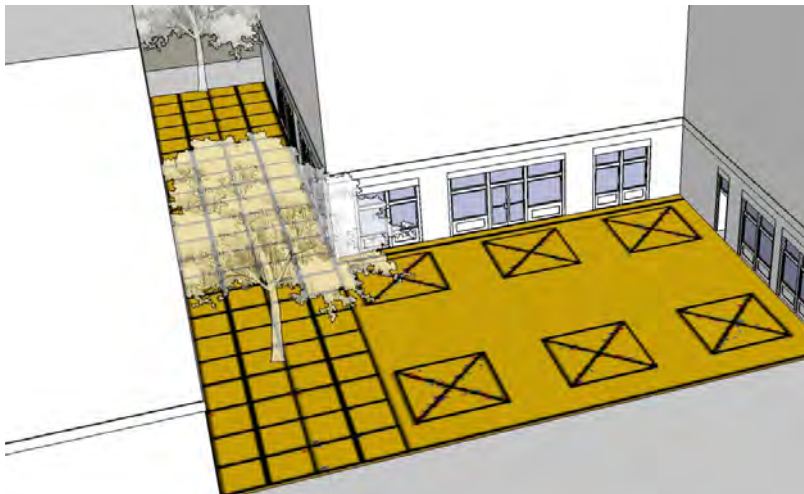
FR-3 Hamlet

FR-2 Arcade

409. I. PRIVATE OPEN SPACE REQUIREMENTS

- (1) Each Development Site shall provide a minimum of 5% of the Development Site in the form of Private Open Space providing light and air to the inner area of each Development Site.
- (2) To qualify for credit toward the 5% Private Open Space requirement, Private Open Space must take one of the following permitted forms, unless the PDC recommends and the Planning Board approves another form:
 - (a) Pedestrian Walkway - See Figure 409-8
 - (b) Front Court - See Figure 409-9
 - (e) Courtyard - See Figure 409-10
 - (c) Roof Garden - See Figure 409-11

FIGURE 409-8 PEDESTRIAN WALKWAY

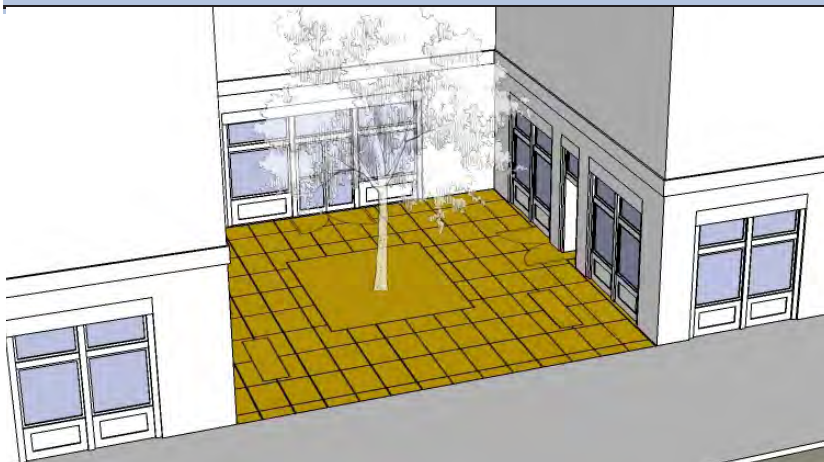


The Pedestrian Walkway is characterized by paving and at grade access to its connections, and activated by designated Frontage types.

PERMITTED FRONTAGE TYPES - See Sec. 410

FR-1 Storefront	FR-4 Porch
FR-2 Arcade	FR-5 Stoop
FR-3 Hamlet	FR-6 Forecourt

FIGURE 409-9 FRONT COURT



A private open space designed to provide outdoor dining areas and landscape courts along the street edge with strong visual & pedestrian connections between the sidewalk & inner block areas.

PERMITTED FRONTAGE TYPES - See Sec. 410

FR-1 Storefront	FR-4 Porch
FR-2 Arcade	FR-5 Stoop
FR-3 Hamlet	FR-6 Forecourt

FIGURE 409-10 COURTYARD



A private open space providing shared access to a courtyard designed for common use of building occupants.

PERMITTED FRONTAGE TYPES - See Sec. 410

FR-1 Storefront

FR-4 Porch

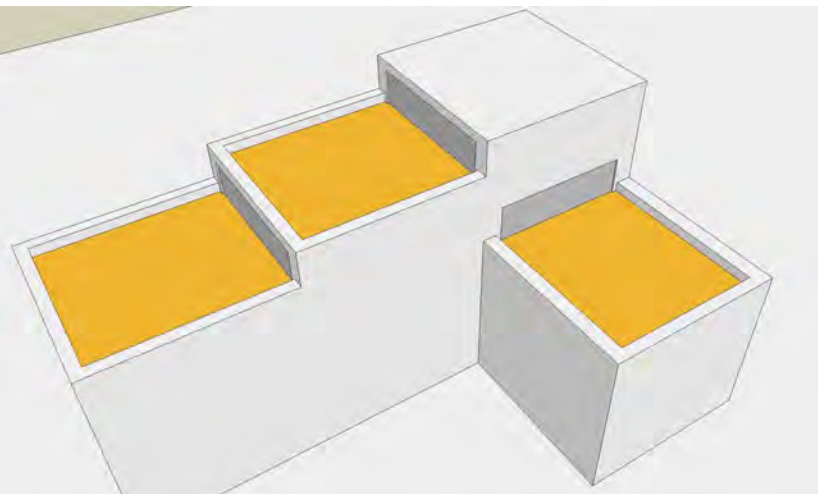
FR-2 Arcade

FR-5 Stoop

FR-3 Hamlet

FR-6 Forecourt

FIGURE 409-11 ROOF GARDEN



A private open space with pedestrian access to a roof garden, terrace, green roof, dining area, sun deck, or similar space accessible to at least 50% of the occupants of a building.

410. USES AND DEVELOPMENT STANDARDS

410. A. PERMITTED USES BY DISTRICT

- (1) The schedule of principal uses permitted within the ROD is shown in Table 1: Table of Principal Uses Principal uses are listed as Permitted (P), Allowed by Special Exception (SE)
- (2) All uses prohibited in the underlying zoning districts shall also be prohibited in ROD, except as otherwise allowed in the use table below.
- (3) Accessory Uses customarily associated with Principal
- (4) Uses, including home based business, shall be permitted. Where public sewerage is not available, no lot shall be built upon which has insufficient space for a private sanitary waste disposal system, as determined by the Town and the Suffolk County Department of Health Services.

FIGURE 410-1A TABLE OF PRINCIPAL USES

	RO-1	RO-2	RO-3	RO-4	RO-5	RO-6
MIXED USE						
Mixed Use Building	P	P	P	P	X	P
Live-Work Building	P	P	P	X	X	X
RETAIL						
Retail	P	P	P	X	X	SE
Restaurant	P	P	P	X	X	SE
OFFICE						
Office	P	P	P	P	X	X
Medical Office	P	P	P	P	X	X
Professional Service	P	P	P	P	X	X
Business Incubators	P	P	P	X	X	X
RESIDENTIAL ***						
Home Occupation/Home Prof. Office	P	P	P	P	P	P
Two-family	P	P	P	P	P	P
Multiple Dwelling	P	P	P	P	X	P
Multifamily Residence	P	P	P	P	X	X
CULTURAL						
Theater	P	P	P	X	X	X
Museum	P	P	P	X	X	SE

P Permitted
 SE Allowed by Special Exception for waterfront related or enhancing use
 X Prohibited
 *** Residential use and private dwelling units are prohibited within the Private Frontage area on the first floor of Storefront Frontages
 **** As defined in 330-162.17 of the Town of Southampton Zoning Ordinance

FIGURE 410-1B: TABLE OF PRINCIPAL USES (CONT'D)

	RO-1	RO-2	RO-3	RO-4	RO-5	RO-6
HOSPITALITY						
Hotel	P	P	P	X	X	P
Bed and Breakfast	P	P	P	P	P	P
Residential Care Facility	P	P	P	P	X	P
RECREATION / EDUCATION						
Recreational Business	P	P	P	P	X	P
Educational Use	P	P	P	P	P	P
RELIGIOUS / CIVIC						
Houses of Worship	P	P	P	P	X	P
Library	P	P	P	P	X	X
SPECIAL WATERFRONT						
Marina	P	X	X	X	X	P
LIGHT INDUSTRIAL						
Artisan Production Facilities	P	P	P	P	X	P
Research & Development Facility	P	P	P	P	X	X
Data Information Center	P	P	P	P	X	X
Document/Misc. Storage	P	P	P	P	X	X
Renewable Energy Facilities	P	P	P	P	X	P
Agricultural Use	P	P	P	P	P	P
Animal Husbandry	X	X	P	P	X	P
PARKING FACILITIES						
Parking Structure	P	P	P	P	X	P
Parking Lot	P	P	P	P	X	P
ADULT ENTERTAINMENT****						
Adult Entertainment Use	X	X	X	X	X	X
UTILITIES						
Utilities	P	P	P	P	P	P

P Permitted

SE Allowed by Special Exception only if waterfront related or enhancing use

X Prohibited

*** Residential use and private dwelling units associated are prohibited on the first floor of Storefront Frontages

**** As defined in 330-162.17 of the Town of Southampton Zoning Ordinance

410. B. DEVELOPMENT STANDARDS

410. B. 1. GENERAL DEVELOPMENT STANDARDS

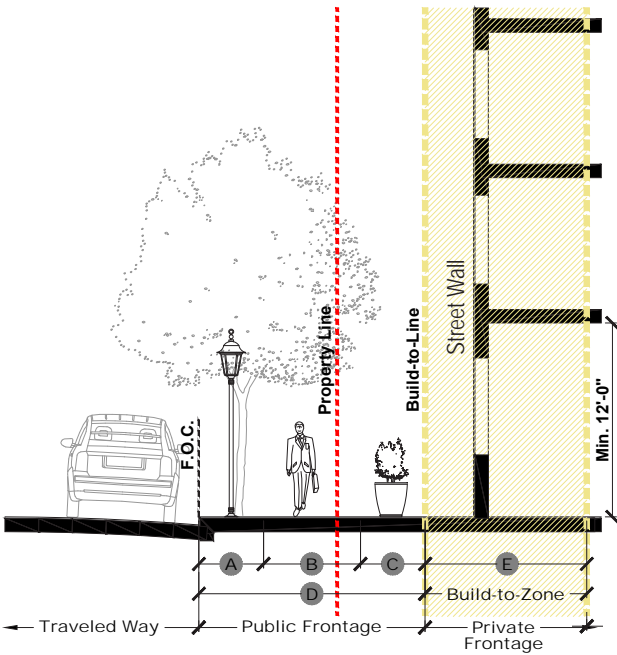


Figure 410-2: Frontage Diagram

- (a) The combination of the Private Frontage, Public Frontage, the Traveled Way, and the associated Edging Elements, defines the character of the street. The character of the Private Frontage is defined by the architectural treatment and use of the ground floor, dimensional depth of the visible yard and the combination of the Frontage Edging Elements. The private frontage provisions of this section regulate both form and use.
 - i. Corner sites on A and B streets shall have two private frontages. Primary building façade and primary entrance shall address the street of higher importance, as recommended by the Project Development Council (PDC) and approved by the Planning Board.
 - ii. Storefronts when required by Section 330-407 shall occupy the full depth of the private frontage and when located on corner sites shall wrap the corner for a minimum of 20 feet.
 - iii. Off-street or structured parking shall be located as specified in Section 410-I, and screened or lined by buildings or permitted Edging Elements.

410. B. 2. BUILD-TO-LINE

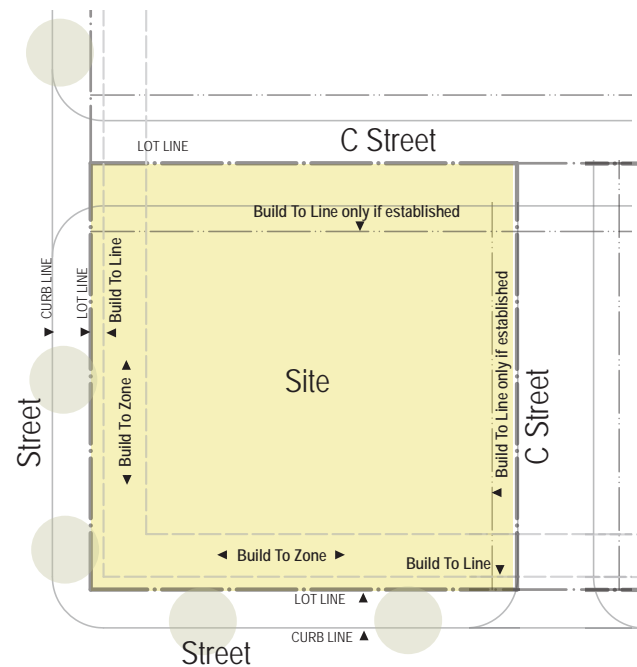
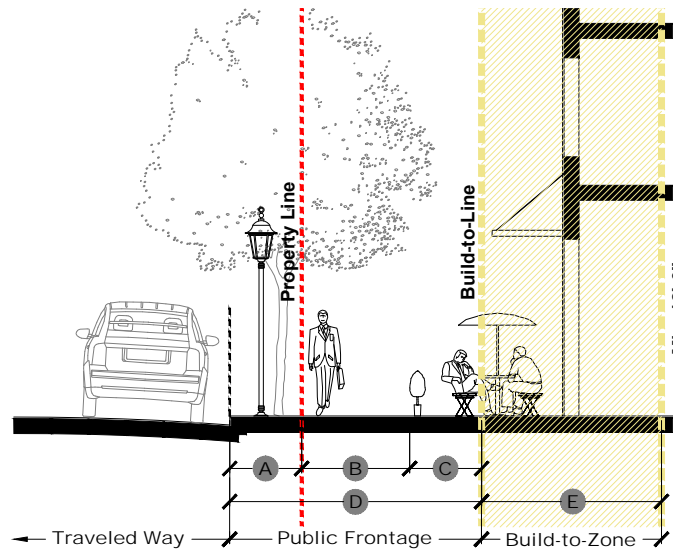


Figure 410-3: Site Development Standards Diagram

- (a) The Build-To-Line defines the portion of the Build-To-Zone closest to a Street, and therefore regulates the Frontage standards.
- (b) The Build-To-Line shall be set parallel to the Front Lot Line for a distance regulated by the street type in Sec 330-408, as designated by the Zoning Map Standards in Section 330-407.
- (c) In RO-1, where the distance between Face Of Curb and Front Lot Line is less than 12 feet, Build-To-Line shall be set at 12 feet from Face Of Curb, unless a new street condition is proposed.
- (d) Establishing a Build-To-Line on C Streets: there are no Private Frontage requirements on C Streets, therefore, C Streets are the only streets to allow a Mid Block condition. A Private Frontage may be established on a C Street at site plan approval if:
 - i. A Public Frontage exists, or will exist as a result of site plan approval; and
 - ii. Additional site frontage is necessary to meet minimum ROD, RIB-1 or RIB-2 requirements
 - iii. A Public Frontage is necessary as continuation of an existing frontage of neighboring properties
 - iv. All such frontages shall establish a Build-To-Zone when minimum Frontage Occupancy requirements apply.

410. B. 3. BUILD-TO-ZONE

- (a) The depth of a Build-To-Zone depends on a Private Frontage Type, as defined in Figure 410-8, Development Standards.
- (b) Streetwall shall be located within the Build-To-Zone.
- (b) To satisfy frontage occupancy requirements the Street Wall shall occupy the Build-To-Zone for the required minimum height and length of the building. No more than allowed number of stories at the face of the building shall occupy the Build-To-Zone with the exception of Significant Corners.
- (c) The Build-To-Zone allows building entrance alcoves and expanded sidewalk area for outdoor dining, building facade articulation, inclusion of projected and/or recessed building elements, and building alignment with existing neighboring buildings.
- (d) The designated location for the Build-To-Zone may be modified to permit the Street Wall to be located in alternate locations where a Civic Space, Pedestrian Way or Walkway is approved by the Planning Board according to standards set in Section 409.



- Legend
- A: Landscape and Furnishing Zone
 - B: Pedestrian Clearway
 - C: Transition Zone
 - D: Public Frontage
 - E: Build-To-Zone

Figure 410-4: Build-To-Zone

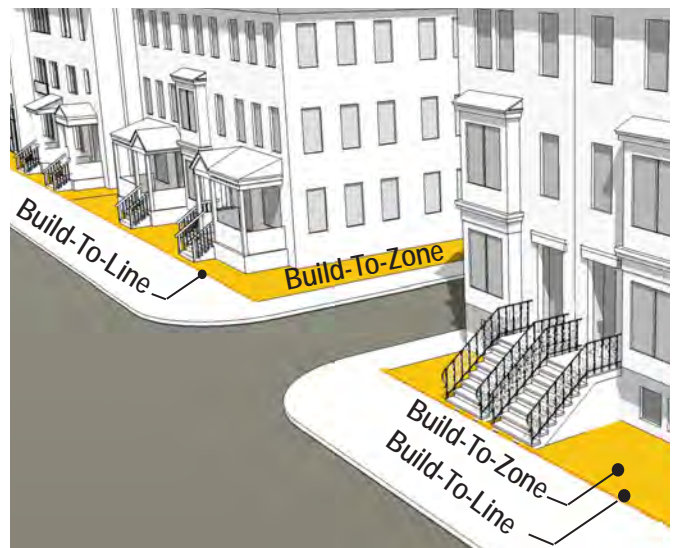
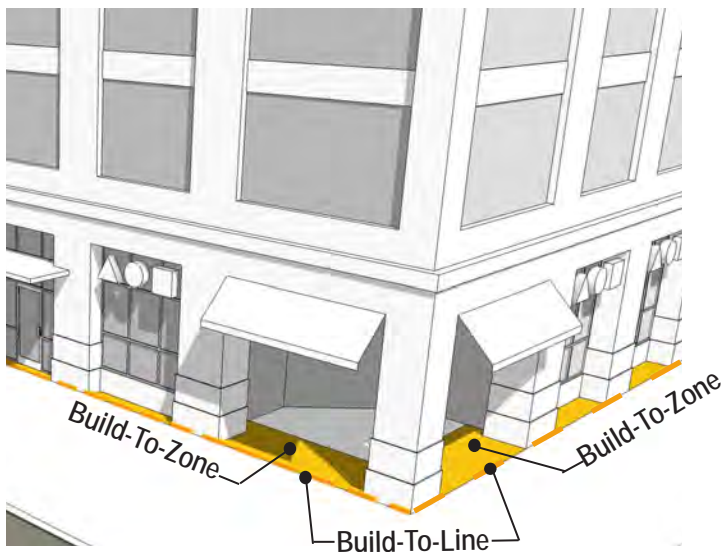


Figure 410-5: Street Frontages showing a typical Ten Foot Build-To-Zone on an A-street, and a typical Fifteen Foot Build-To-Zone on B Street

410. B. 4. FRONTAGE OCCUPANCY

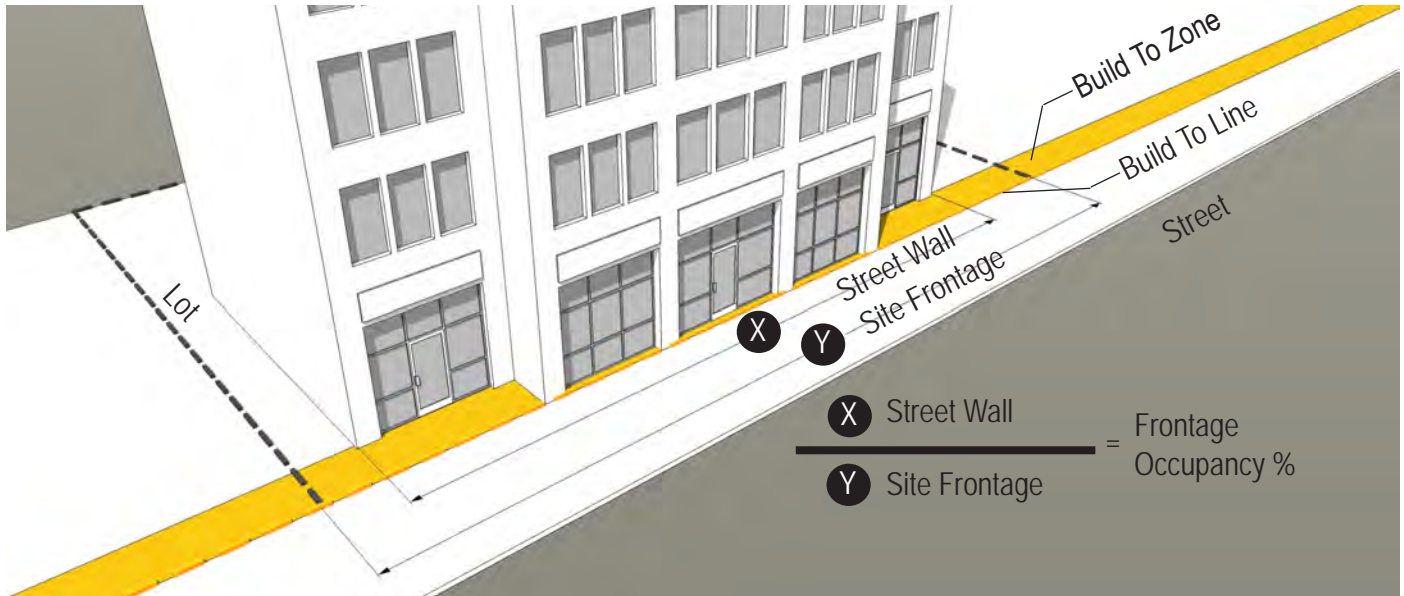


Figure 410-6: Frontage Occupancy Diagram

410. B. 5. EXPRESSION LINES



Figure 410-7: Expression Lines Diagram

The Expression Lines guidelines provided below may be considered by PDC during its review of a site plan and proposed architectural design.

- (a) All buildings should provide horizontal expression lines in order to:
 - i. differentiate between the base, middle or top of buildings.
 - ii. emphasize a massing transition or change of use.
- (b) Expression lines should be articulated through the use of moldings, shading devices, changes of material, changes of color, cornices, and other similar architectural elements.

410. B. 6. SITE DEVELOPMENT STANDARDS AND INCENTIVES

The dimensional standards shown in the table below shall apply to each site. These standards include base ROD standards as well as development incentives for large lots and parcel assembly (RIB1 and RIB2). Where public sewerage is not available, no lot shall be built upon which has insufficient space for a private sanitary waste disposal system, as determined by the Town and the Suffolk County Department of Health Services.

Figure 410-8. DEVELOPMENT STANDARDS FOR RO-1, RO-2, RO-3, RO-4, RO-5, RO-6

		ROD Base Requirements	Riverside Incentive Bonus 1 RIB1	Riverside Incentive Bonus 2 RIB2	
Build-To-Zone	All Districts	10 feet required for frontage types	FR-1	FR-2	FR-3
		15 feet required for frontage types	FR-4	FR-5	FR-6
Site Frontage Minimum	All Districts	75 feet	150 feet	300 feet	
Site Area Minimum	All Districts	7,500 SF	15,000 SF	60,000 SF	
Building Height	RO-1	2 stories min, 3 stories and 30 feet Streetwall Height min*	3.5 stories max	4.5 stories max	
	RO-2	2 stories min, 3 stories max*	3.5 stories max	4 stories max	
	RO-3	2 stories min, 2 stories max*	3.5 stories max	4 stories max	
	RO-4	1 stories min, 2 stories max*	2.5 stories, 35 feet max	3.5 stories max	
	RO-5	1 stories min, 2 stories max*	2.5 stories, 35 feet max	no bonus	
	RO-6	1 stories min, 2 stories max*	2.5 stories, 35 feet max	3.5 stories max	
Parking	All Districts	ROD minimum requirements	Increased shared access or new streets		
Bicycle Parking	All Districts	ROD minimum requirements	RIB1 & RIB2 minimum requirements (410. K.)		

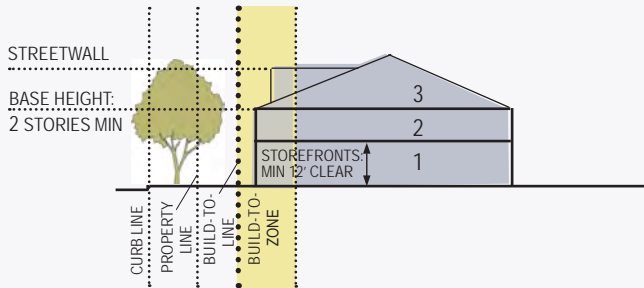
* Base Height; if minimum Streetwall Height required, needs to comply with for at least 30% of frontage

Figure 410-9. SUSTAINABLE DEVELOPMENT STANDARDS FOR RO-1, RO-2, RO-3, RO-4, RO-5, RO-6

		ROD Base Requirements	Riverside Incentive Bonus 1 RIB1	Riverside Incentive Bonus 2 RIB2
Minimum Requirement	All Districts	Attain equivalent of [TBD] points for ROD Sustainable Development Standards		Attain equivalent of [TBD] points for ROD Sustainable Development Standards
Indoor Water Use		20% below baseline		
Water Efficient Landscaping		Reduce potable water consumption for outdoor landscape irrigation by 50% from a calculated midsummer baseline case.		
Heat Island Reduction**		50% of the non-roof site hardscape "Green" roof for at least 50% of roof area OR 75% of roof with low SRI		

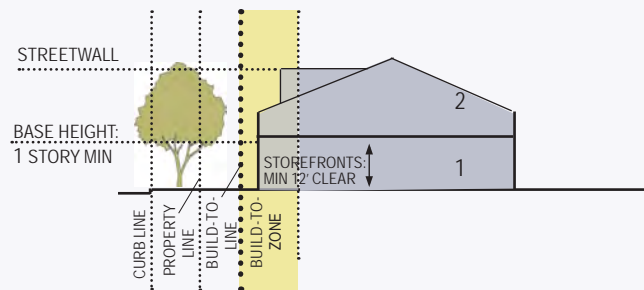
**Except for approved Piazza as Public Civic Space

FIGURE 410-10 BASE SITE DEVELOPMENT STANDARD IN RO-1, RO-2 & RO-3



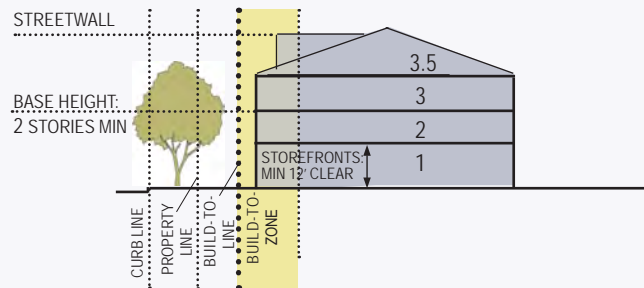
1. Minimum Site Area shall be 7,500 SF
2. Minimum Site Frontage shall be 75 FT
3. RO-1 only: Minimum Streetwall height shall be 30 feet for at least 30% of frontage
4. RO-1 & RO-2: Base Height shall be 2 stories min and 3 stories max
5. RO-3: Base Height for building shall be 2 stories min and 2 stories max

FIGURE 410-11 BASE SITE DEVELOPMENT STANDARD IN RO-4, RO-5 & RO-6



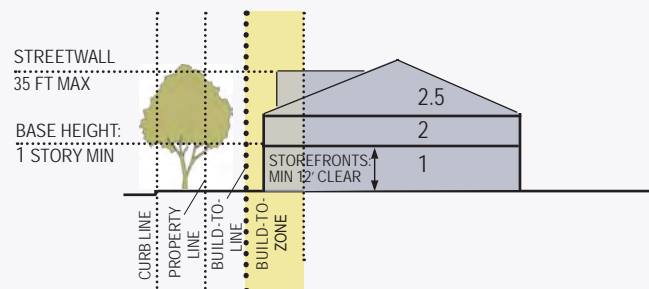
1. Minimum Site Area shall be 7,500 SF
2. Minimum Site Frontage shall be 75 FT
3. Building Height shall be a minimum of 1 story and a maximum of 2 stories

FIGURE 410-12 SITE DEVELOPMENT STANDARD FOR RIB1 IN RO-1, RO-2 & RO-3



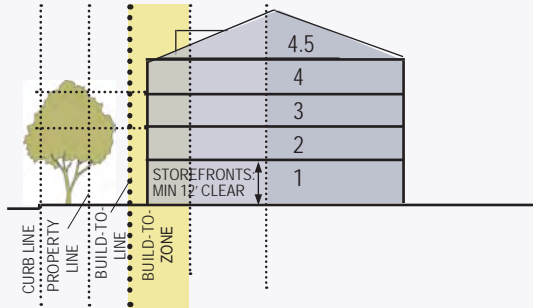
1. Minimum Site Area shall be 15,000 SF.
2. Minimum Site Frontage shall be 150 feet.
3. Building height shall be a maximum of 3.5 stories

FIGURE 410-12.1 SITE DEVELOPMENT STANDARD FOR RIB1 IN RO-4, RO-5 & RO-6



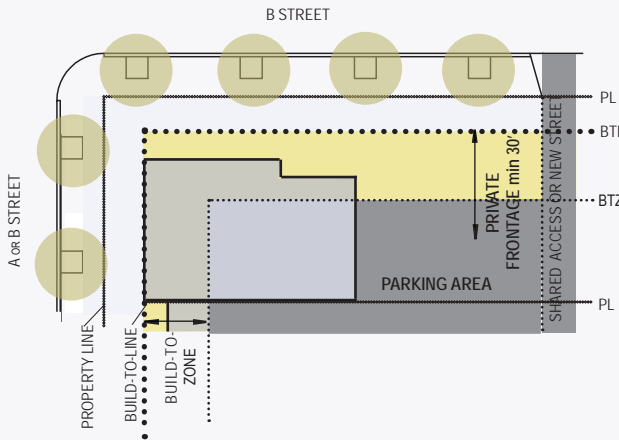
1. Minimum Site Area shall be 15,000 SF.
2. Minimum Site Frontage shall be 150 feet.
3. Building height shall be a maximum of 2.5 stories or 35 feet

FIGURE 410-12.2 SITE DEVELOPMENT STANDARD FOR RIB2 IN RO-1,RO-2,RO-3, RO4, RO-6



- Minimum Site Area shall be 60,000 SF.
- Minimum Site Frontage shall be 300 feet.
- RO-1: Building height shall be a maximum of 4.5 stories
- RO-2 & RO-3: Building height shall be a maximum of 4.0 stories
- RO-4 & RO-6: Building height shall be a maximum of 3.5 stories

FIGURE 410-13 BUILDING PLACEMENT STANDARDS



- Parking shall not be located within the Private Frontage except when located below grade with ceiling at maximum 4 feet above ground
- C Streets do not have a private frontage requirement unless designated.
- Access to surface and structured parking shall be from an approved shared access drives or new C Streets.
- Trash containers shall not be stored in locations visible from the public ROW

410. C PRIVATE FRONTAGE TYPES

FIGURE 410-14 TABLE OF PERMITTED PRIVATE FRONTAGE TYPES

Street Types	Permitted Frontage Types						
	Storefront*	Hamlet	Arcade	Stoop	Porch	Court	Mid-Block
	FR-1	FR-2	FR-3	FR-4	FR-5	FR-6	FR-7
A Street	P	P	P	P	P	P	X
B Street	P	P	P	P	P	P	X
C Street***	P	P	P	P	P	P	P
*	See Zoning Map Standards Sec 407 to determine where Storefront Frontage is required						
P	Permitted						
X	Not Permitted						
***	Frontages are deemed to exist on C Streets if and only if the C Street frontage is voluntarily designated or necessary to fulfill the minimum Site Frontage requirements for a site. All such frontages shall require a Build-To-Zone and a minimum Frontage Occupancy associated with their Private Frontage Types.						

FIGURE 410-15 TABLE OF MINIMUM FRONTAGE OCCUPANCY REQUIREMENTS

Street Types	Min Frontage Occupancy Required						
	Storefront*	Hamlet	Arcade	Stoop	Porch	Court	Mid-Block
	FR-1	FR-2	FR-3	FR-4	FR-5	FR-6	FR-7
A Street	80%	80%	80%	80%	80%	80%	X
B Street	80%	60%	60%	60%	60%	60%	X
C Street**	0%	0%	0%	0%	0%	0%	0%
P	Permitted						
X	Not Permitted						
*	See Zoning Map Standards Sec 407 to determine where Storefront Frontage is required						
**	Only if Frontage not necessary per Sec 410.B.2 (d). If required or designated, it shall follow B street minimum frontage occupancy requirements of this table.						

NOTE: Residential uses are not permitted on the ground floor within the Private Frontage area when Storefronts are used or required. However, common areas of residential and hospitality building such as lobbies, gyms and similar spaces servicing the primary use may occupy the ground floor Private Frontage area of a Storefront Frontage as long as it complies with the Active Edge requirements.

410. C. 1. STOREFRONT FRONTAGE

FR-1

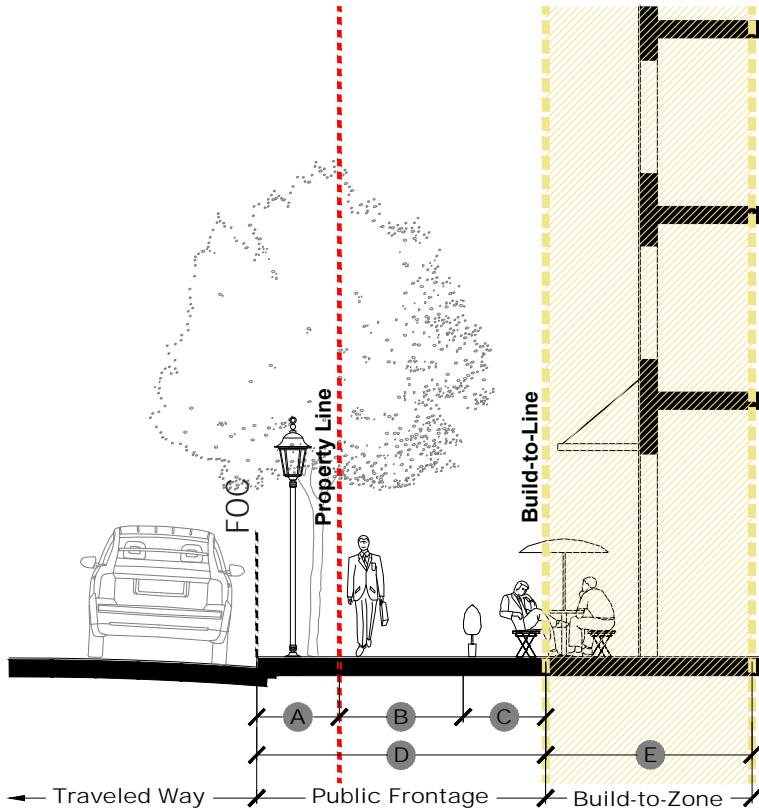


Figure 410-16. Storefront frontage Build-To-Zone

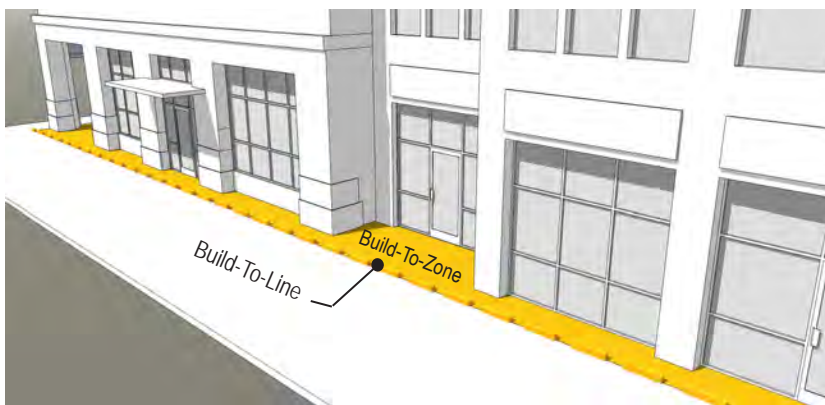


Figure 410-17.

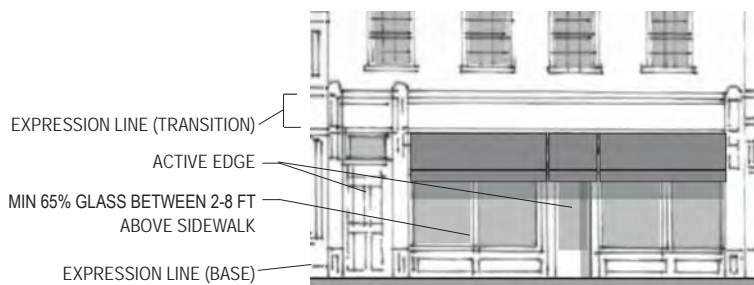


Figure 410-18. Storefront requirements

Storefront Frontage FR-1

PRIVATE FRONTAGE

ACTIVE EDGE REQ'D - DOOR SEPARATION DISTANCE 50' MAX

ALLOWED FRONTAGE EDGING ELEMENTS

EE-1 EE-2 EE-3 EE-4 EE-6 EE-7

GLAZING REQUIREMENT

(a) A minimum of 65% of the street-level, street-facing building area located between 2' & 8' above the sidewalk shall provide clear, non-reflective glass.

FUNCTION OF THE BUILD-TO-ZONE (BTZ)

- (a) Allows for entrance alcoves and expanded sidewalk area for outdoor dining.
- (b) Allows for facade articulation and inclusion of recessed building elements.
- (c) Allows for alignment with existing neighboring buildings.

410. C. 2. ARCADE FRONTAGE

FR-2

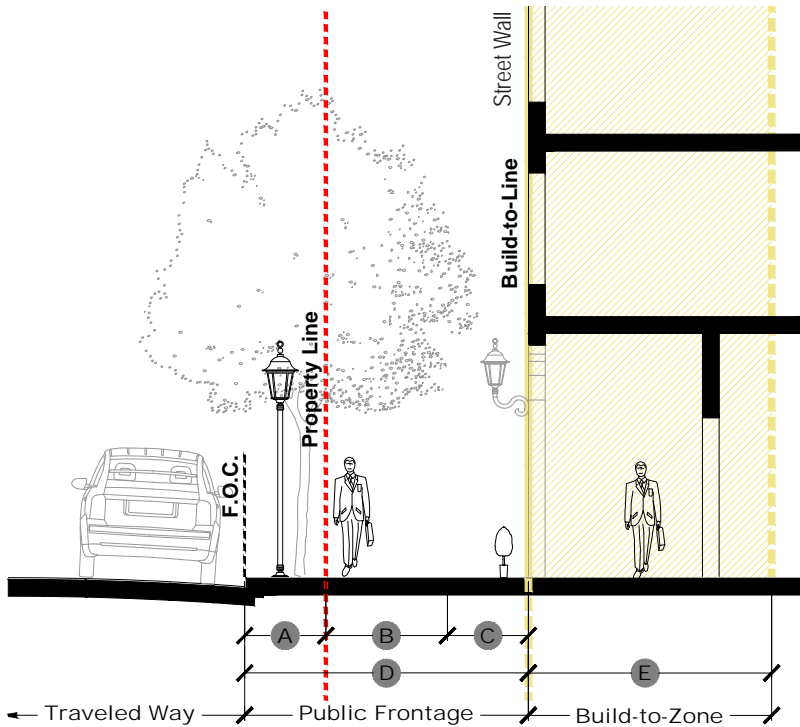


Figure 410-19. Arcade frontage

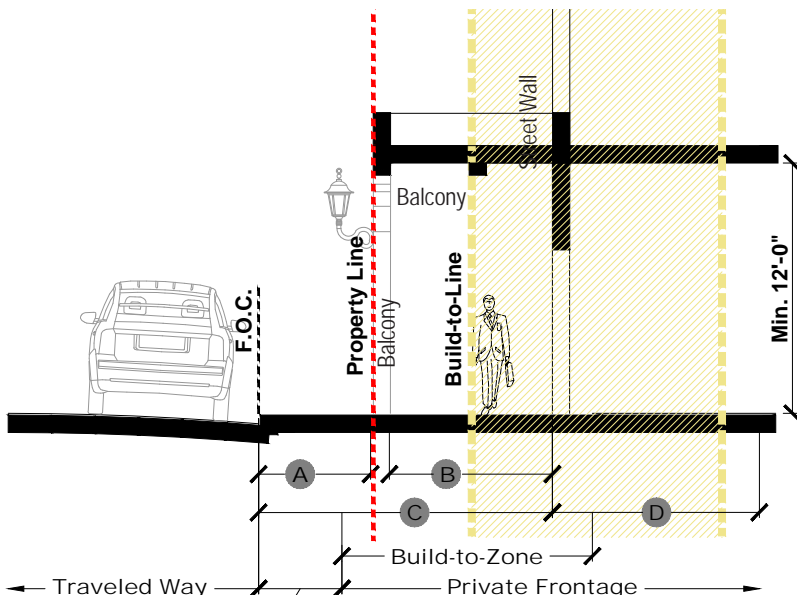


Figure 410-20. Arcade frontage with arcade columns located outside of Build-To-Zone

Arcade Frontage FR-2

PRIVATE FRONTAGE

Building Street Wall shall remain within the Build-To-Zone if structural columns are placed outside of the Build-To-Zone, up to the Front Line, as permitted by the Planning Board

ACTIVE EDGE REQ'D - DOOR SEPARATION DISTANCE 35' MAX

ALLOWED FRONTAGE EDGING ELEMENTS

EE-1 EE-2 EE-3 EE-6 EE-7

ARCADE CLEARWAY REQUIREMENT

- a) A clear distance for pedestrian access between the outer and inner arcade elevations shall be minimum 6 feet.
- b) When providing pedestrian approach, the distance between arcade's outer structural columns shall be a minimum of 6 feet.
- c) A clear vertical height between sidewalk and the arcade ceiling shall be 10'

GLAZING REQUIREMENT

- (a) A minimum of 65% of the street-level, street-facing building area recessed behind structural arcade elements (posts or columns) located between 2' & 8' above the sidewalk shall provide clear, non-reflective glass.

FUNCTION OF THE BUILD-TO-ZONE (BTZ)

- (a) Allows for entrance alcoves and expanded sidewalk area for outdoor dining.
- (b) Allows for facade articulation and inclusion of recessed building elements.
- (c) Allows for alignment with existing neighboring buildings.

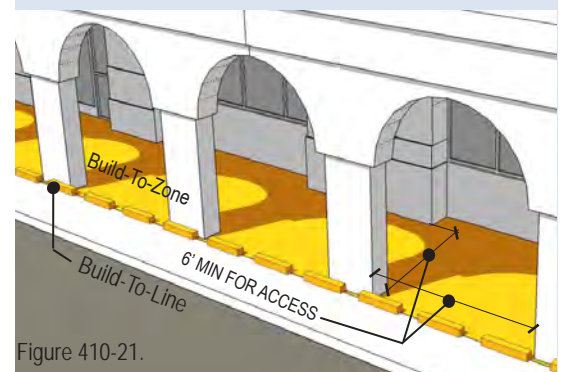


Figure 410-21.

410. C. 3. HAMLET FRONTAGE

FR-3

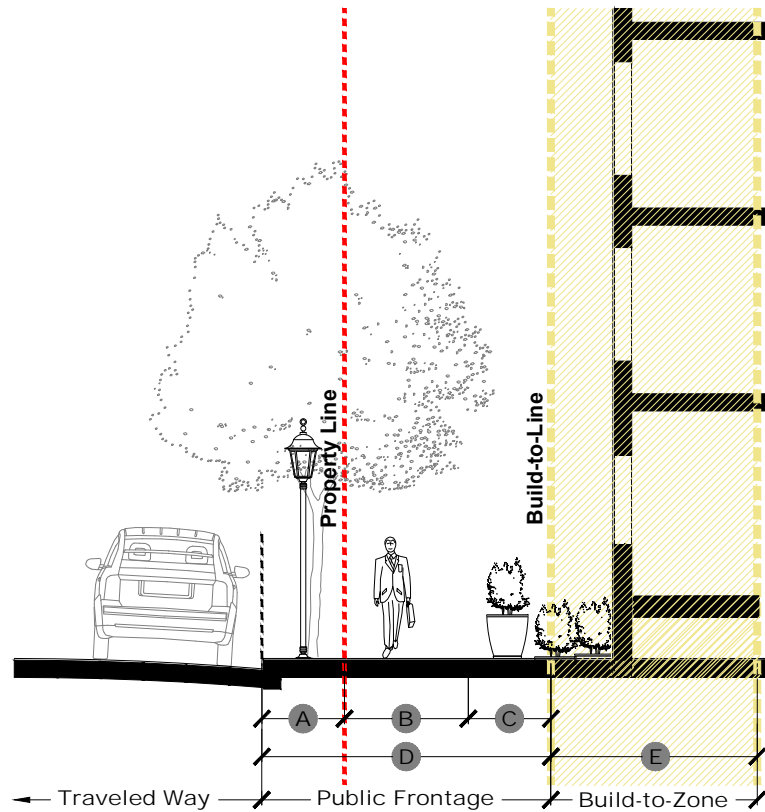


Figure 410-21. Hamlet frontage Build-To-Zone



Figure 410-22.

Hamlet Frontage FR-3

PRIVATE FRONTAGE

ACTIVE EDGE REQ'D - DOOR SEPARATION DISTANCE 50' MAX

ALLOWED FRONTAGE EDGING ELEMENTS

EE-1 EE-2 EE-3 EE-4 EE-6 EE-7

GLAZING REQUIREMENT

(a) A minimum of 40% of the street-level, street-facing building area located between 2' & 10' above the sidewalk shall provide clear, non-reflective glass.

FUNCTION OF THE BUILD-TO-ZONE (BTZ)

- (a) Allows for entrance alcoves.
- (b) Allows for facade articulation and inclusion of recessed building elements.
- (c) Allows for alignment with existing neighboring buildings.

410. C. 4. STOOP FRONTAGE

FR-4

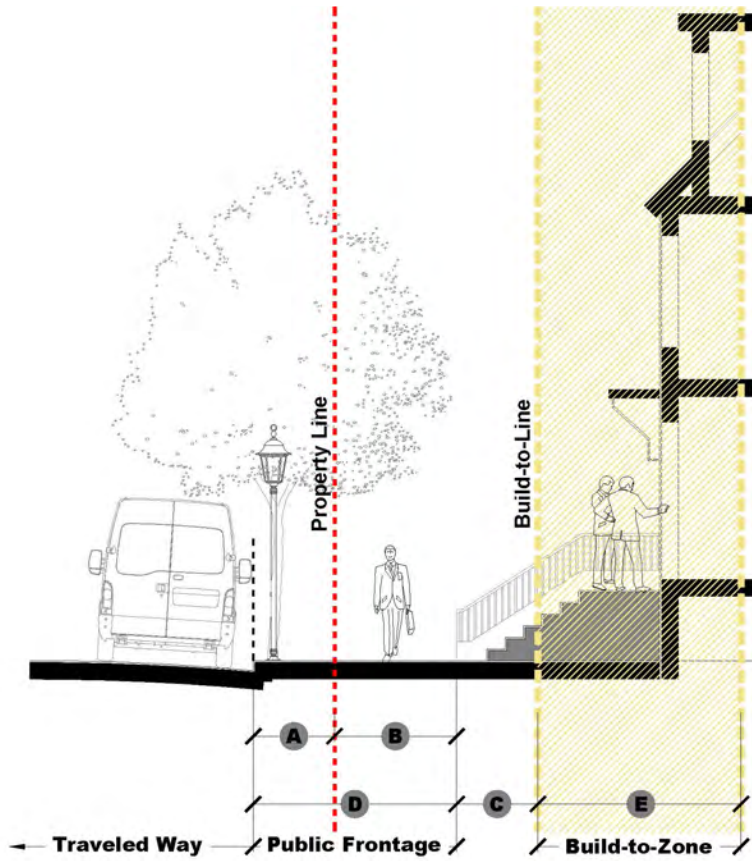


Figure 410-23. Stoop frontage Build-To-Zone



Figure 410-24.

Stoop frontage FR-4 defines residential frontages with elevated entrance. Up to three stair raisers can be placed within transition zone, and the ground plane within the BTZ can be hardscape continuation of sidewalk or landscaped (e.g. rain gardens).

PRIVATE FRONTAGE

ACTIVE EDGE REQ'D - DOOR SEPARATION DISTANCE 50' MAX

ALLOWED FRONTAGE EDGING ELEMENTS

EE-1 EE-2 EE-3 EE-4 EE-6 EE-7

GLAZING REQUIREMENT

(a) A minimum of 30% of the street-level, street-facing building area located between 4' & 13' above the sidewalk shall provide clear, non-reflective glass.

FUNCTION OF THE BUILD-TO-ZONE (BTZ)

- (a) Allows for entrance alcoves.
- (b) Allows for facade articulation and inclusion of pronounced and/or recessed building elements.
- (c) Allows for alignment with existing neighboring buildings.

410. C. 5. PORCH FRONTAGE

FR-5

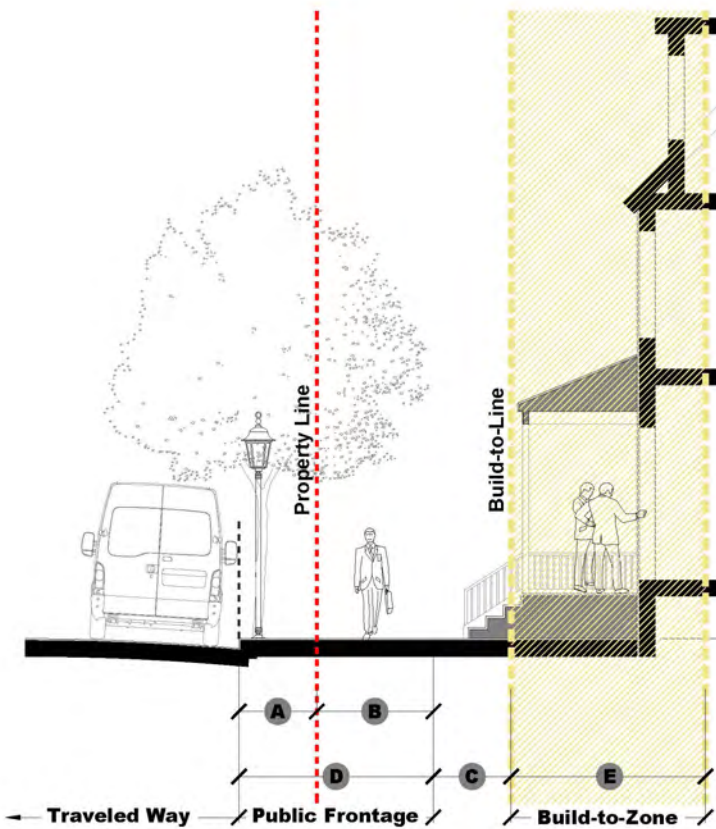


Figure 410-25. Porch frontage Build-To-Zone



Figure 410-26.

Porch frontages FR-5 define residential frontages with elevated entrance. Up to three stair raisers can be placed within transition zone, and the ground plane within the BTZ can be hardscape continuation of sidewalk or landscaped (e.g. rain gardens).

PRIVATE FRONTAGE

ACTIVE EDGE REQ'D - DOOR SEPARATION DISTANCE 50' MAX

PERMITTED FRONTAGE EDGING ELEMENTS

EE-1 EE-2 EE-3 EE-4 EE-6 EE-7

GLAZING REQUIREMENT

(a) A minimum of 30% of the street-level, street-facing building area located between 4' & 13' above the sidewalk shall provide clear, non-reflective glass.

FUNCTION OF THE BUILD-TO-ZONE

- (a) Allows for entrance alcoves and expanded sidewalk area for outdoor dining.
- (b) Allows for facade articulation and inclusion of pronounced and/or recessed building elements.
- (c) Allows for alignment with existing neighboring buildings.

410. C. 6. FORECOURT FRONTAGE

FR-6

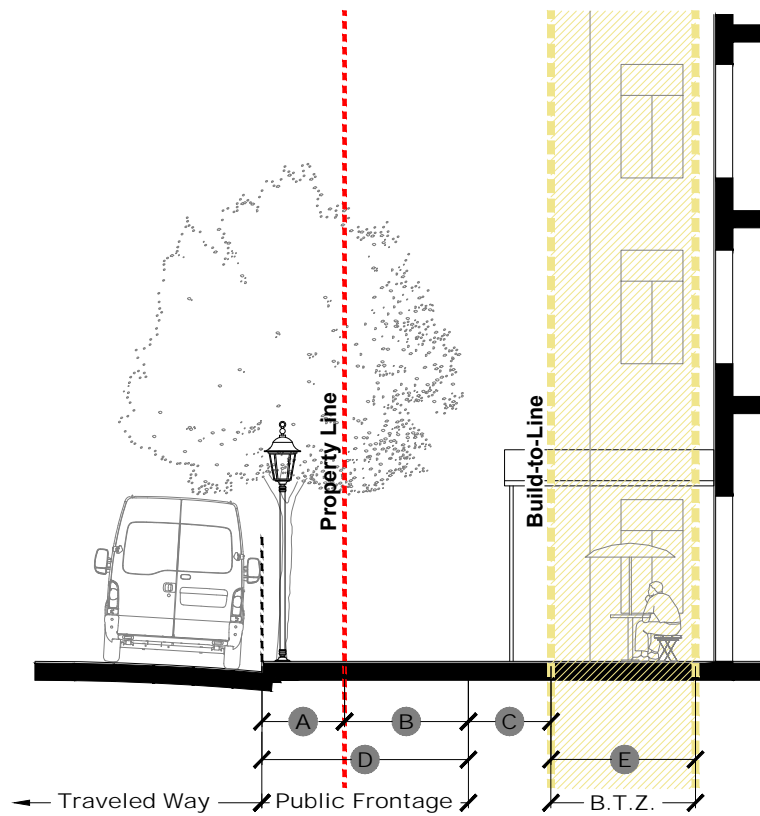


Figure 410-27. Forecourt frontage build-to-zone



Figure 410-28.

Forecourt frontage FR-6 allows longer building recessed areas for gardens and bioretention areas.

PRIVATE FRONTAGE

PERMITTED FRONTAGE EDGING ELEMENTS

EE-1 EE-2 EE-3 EE-4 EE-6 EE-7

GLAZING REQUIREMENT

(a) A minimum of 30% of the street-level, street facing building area located between 4' & 13' above the sidewalk shall provide clear, non-reflective glass.

FUNCTION OF THE BUILD-TO-ZONE

- (a) Allows for entrance alcoves.
- (b) Allows for facade articulation and inclusion of recessed building elements.
- (c) Allows for alignment with existing neighboring buildings.

410. C. 7. MID-BLOCK

FR-7



Figure 410-29.

Mid-Block frontage FR-7 faces C Streets when Build-To-Line has not been established.

PRIVATE FRONTAGE

FRONTAGE EDGING ELEMENTS ALLOWED

EE-1 EE-2 EE-3 EE-4 EE-5 EE-6 EE-7

GLAZING REQUIREMENT

(a) A minimum of 30% of the street-level, street facing building area located between 4' & 7' above the sidewalk shall provide clear, non-reflective glass.

410. D. EDGING ELEMENT STANDARDS

The Edging Elements permitted within a Built-To-Zone as provided in the Table below and Figures 410.D.1 through 410.D.7.

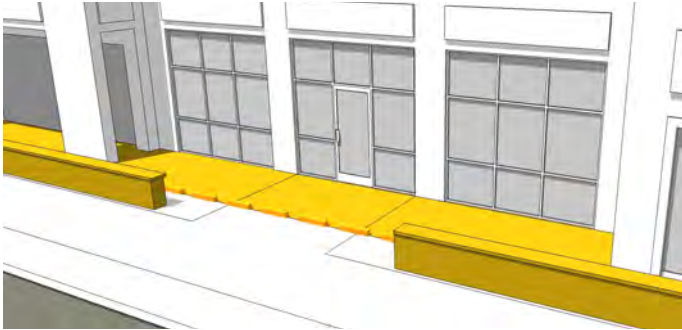
Frontage Types		Edging Elements						
		Low Wall	Raised Edge*	Stairs*	Ornamental Fence	Privacy Fence	Planters	Landscaped Edge
		EE-1	EE-2	EE-3	EE-4	EE-5	EE-6	EE-7
Storefront	FR-1	P	P	P	P	X	P	P
Arcade	FR-2	P	P	P	X	X	P	P
Hamlet	FR-3	P	P	P	P	X	P	P
Stoop*	FR-4	P	P	P	P	X	P	P
Porch*	FR-5	P	P	P	P	X	P	P
Forecourt	FR-6	P	P	P	P	X	P	P
Mid Block	FR-7	P	P	P	P	P**	P	P

* Additional building standards for railing may apply.

** Privacy fences shall be used for screening of utility and service areas and shall be no taller than 6 feet.

410. D. 1. LOW WALL

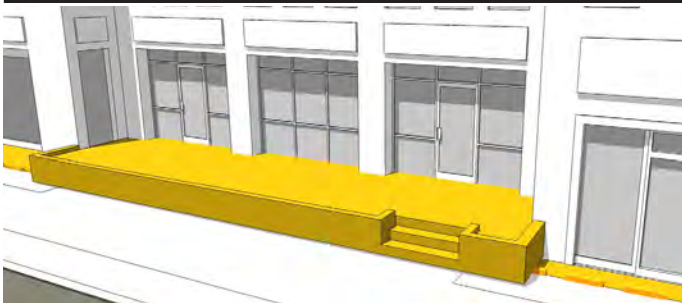
EE-1



Masonry wall, maximum 24 inches in height (e.g. brick, concrete, stone).

410. D. 2. RAISED EDGE

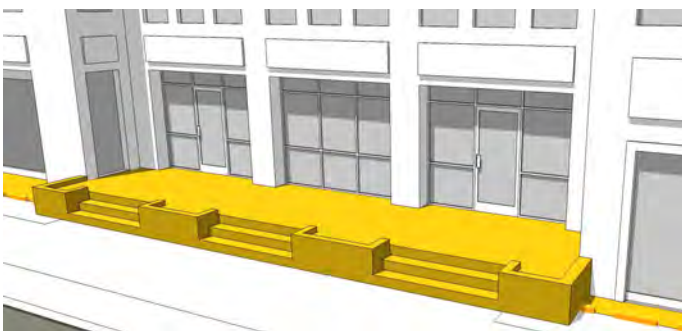
EE-2



The intent is to separate areas with different intensity of use with up to 24" of difference in floor planes.

410. D. 3. STAIRS

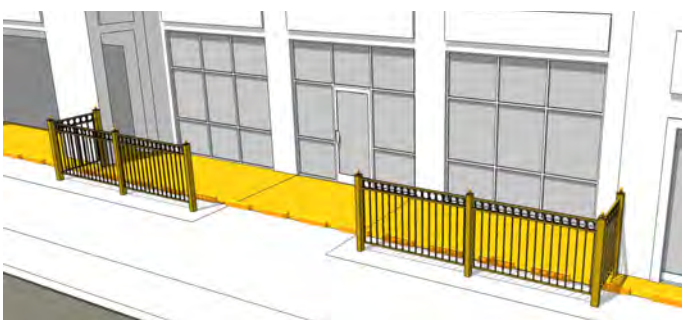
EE-3



The intent is to separate areas with different intensity of use with up to 24" of difference in floor planes.

410. D. 4. ORNAMENTAL FENCE

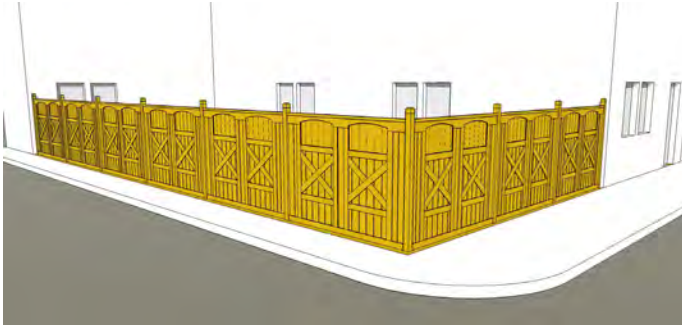
EE-4



A transparent ornamental fence, not chain link, with a maximum height of 42 inches.

410. D. 5. PRIVACY FENCE

EE-5



A privacy fence with a maximum height of six feet.

410. D. 6. PLANTERS

EE-6



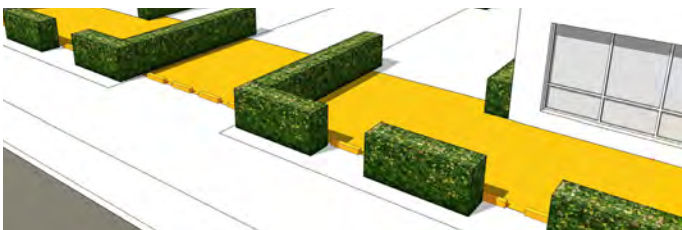
Planters no higher than 42 inches in height

410. D. 7. LANDSCAPED EDGE

EE-7



A Landscaped edge of flowers, plants or a hedge.



410. E. SIGNIFICANT CORNERS



Significant corners can exceed the height of the max allowed building height to allow for significant architectural feature in locations designated by Zoning Map Sec 330-407. Additional locations can be allowed to enrich the community character.

410. F. TERMINATING VISTAS



Terminating vistas shall be located to terminate a view created by the center-line of a street or civic space. When building facades terminate a vista, they shall be designed to have a significant architectural feature located on axis with the vista.

410. G. BUILDING HEIGHT

- (1) Except as provided in (a) below, minimum building height shall be as designated in 410. B. 4. Site Development Standards and Incentives, and Figure 410-8 Development Standards for RO-1, RO-2, RO-3, RO-4, RO-5, and RO-6.
 - (a) Buildings lower than minimum required height shall be permitted by the Planning Board only when located in areas of Public Civic Space, after recommendation by the PDC.
 - (b) Ground floor uses with Storefront, where required, shall have a minimum clear height of 12 feet. See 330-410.10- 410.13.
- (2) Height Exceptions
 - (a) Open railings, planters, skylights, church steeples, greenhouses, parapets, and firewalls may extend up to 4 feet above the maximum height limit with unlimited rooftop coverage.
 - (b) Solar collectors may extend up to 7 feet above the maximum height limit, with unlimited rooftop coverage.
 - (c) The following structures may extend up to 10 feet above the maximum height limit, as long as the combined total coverage of all features listed in this subsection does not exceed 10 percent of the roof area if the total includes:
 - i. "green" energy production or reduction equipment (e.g. -solar collectors, wind turbines, solar hot water systems)
 - ii. stair and elevator penthouses
 - iii. mechanical equipment
 - iv. greenhouses, urban agriculture structures, and solariums
 - v. play equipment and open-mesh fencing that encloses it, as long as fencing is at least 15 feet from the roof edge
 - vi. minor communication utilities and accessory communication devices
 - vii. cupolas and steeples
 - viii. architectural treatments used as Significant Corners or Terminated Vistas.
 - (d) Rooftop greenhouses that are dedicated to food production are permitted provided that all mechanical equipment is screened and that no rooftop features are located closer than 15 feet to the roof edge.

410. H. PROJECTIONS AND ENCROACHMENTS

- (3) (1) Building projections such as Bay Windows or Balconies shall be permitted to encroach into a required front, side or rear yard setback, or across a Build-To-Line provided that:
 - (a) Structural Encroachments shall provide a minimum of 14 feet of clearance over a public sidewalk or right of way.
 - (b) Architectural Encroachments such as cornices or canopies that are not occupied space shall provide a minimum of 10 feet of clearance over a public sidewalk or right of way.
 - (c) Projections shall not be included in the calculation of building or impervious coverage.
- (d) Signs, awnings, overhangs and similar elements, if determined by the PDC to be consistent with the regulations and intent of the frontages, may encroach beyond a Build-To-Line.

410. I. PARKING REQUIREMENTS

- (1) Required Parking: The number of parking spaces required to be provided by a Applicant seeking Site Plan approval, are as follows:
 - (a) Residential- 1 parking space per unit
 - (b) Commercial- 2.5 parking space per 1000 square feet
 - (c) Retail- 3 per 1000 square feet
- (2) The parking requirements above may be adjusted for development under Riverside Incentive Bonus 1 or 2 (RIB 1 or RIB2) , based on the Parking Management Plan demonstrating the projected operational characteristics of the use and its need for parking.
- (3) Parking Location
 - (a) Parking can be provided Off-site and demonstrated by a Parking Management Plan.
 - (b) No parking shall not be located within a Build-To-Zone except when located below grade with ceiling at maximum 4 feet above ground. Exact location of parking will be determined during site plan review.
 - (c) To the extend a Parking Agency has been established by the Town, where parking is not provided Applicant shall pay a Fee in-lieu.
 - (4) The PDC and Planning Board shall work with the Applicant to ensure that as much as possible of any new parking is available for shared or public use.

410. J. SUSTAINABLE DEVELOPMENT STANDARDS

The minimum sustainable development requirements shown in Sec.410.B-4, Fig 410-9 shall be achieved by satisfying the equivalent of the a minimum requirements to attain a status of a Sustainable Requirements [TBD] points.

(1) Reduce Impacts to Water Resources

- (a) The following minimum requirements for building water efficiency shall be met:
 - i. Indoor water use in new buildings and buildings undergoing major renovations as part of the project must, on average, use 20% less water than baseline buildings. The baseline shall meet the requirements of the Energy Policy Act of 1992 ("EPA") and subsequent rulings by the Department of Energy, requirements of the Energy Policy Act of 2005, and the plumbing code requirements as stated in the 2006 editions of the Uniform Plumbing Code or International Plumbing Code as to fixture performance. Calculations are based on estimated

- ii. occupant usage and shall include only the following fixtures and fixture fittings (as applicable to the project scope): water closets, urinals, lavatory faucets, showers, kitchen sink faucets and pre-rinse spray valves. The water efficiency threshold shall be calculated as a weighted average of water usage for the buildings constructed as part of the project based on their conditioned space square footage.

FIGURE 410.1A. TABLE OF BUILDING WATER EFFICIENCY BASELINES

National Efficiency Baselines for Commercial Water-Using Fixtures, Fittings and Appliances*	
Fixtures, Fittings and Appliances	Current Baseline
Commercial Toilets	1.6 gpf ² Except blow-out fixtures: 3.5-gpf
Commercial Urinals	1.0 gpf
Commercial Lavatory (restroom) Faucets	2.2-gpm at 60 psi – Private applications only (hotel-motel guest rooms)
	0.5 gpm at 60 psi ³ all others except private applications
	0.25 gallons per cycle for metering faucets
Commercial Pre-rinse Spray Valves (for food service applications)	Flow rate ≤ 1.6 gpm (no pressure specified; no performance requirement)
National Efficiency Baselines for Residential Water-Using Fixtures, Fittings and Appliances*	
Residential Toilets	1.6 gpf ⁴
Residential Lavatory (Bathroom) Faucets	2.2 gpm at 60 psi
Residential Kitchen Faucet	
Residential Showerheads	2.5 gpm at 80 psi per shower stall ⁵

* Adapted from information developed and summarized by the U.S. EPA Office of Water.

² EAct 1992 standard for toilets applies to both commercial and residential models.

³ In addition to EAct requirements, the American Society of Mechanical Engineers standard for public lavatory faucets is 0.5 gpm at 60 psi (ASME A112.18.1-2005). This maximum has been incorporated into the national Uniform Plumbing Code and the International Plumbing Code.

⁴ EAct 1992 standard for toilets applies to both commercial and residential models.

⁵ Residential shower compartment (stall) in dwelling units: The total allowable flow rate from all flowing showerheads at any given time, including rain systems, waterfalls, bodysprays, bodyspas, and jets, shall be limited to the allowable showerhead flow rate as specified above (2.5-gpm) per shower compartment, where the floor area of the shower compartment is less than 2,500 sq.in. For each increment of 2,500 sq.in. of floor area thereafter or part thereof, an additional showerhead with total allowable flow rate from all flowing devices equal to or less than the allowable flow rate as specified above shall be allowed. Exception: Showers that emit recirculated non-potable water originating from within the shower compartment while operating are allowed to exceed the maximum as long as the total potable water flow does not exceed the flow rate as specified above.

410. J. 2. REDUCE OUTDOOR POTABLE WATER CONSUMPTION

- (a) The following minimum requirements for a water efficient landscaping must be met:
- Reduce potable water consumption for outdoor landscape irrigation by 50% from a calculated midsummer baseline case. Reductions may be attributed to any combination of the following items, among others:
- Plant species, density and microclimate factor
 - Irrigation efficiency
 - Use of captured rainwater
 - Use of recycled wastewater
 - Use of water treated and conveyed specifically for non-potable uses.
 - Use of other non-potable water sources such as stormwater, air conditioning condensate, and foundation drain water.

410. J. 3. HEAT ISLAND REDUCTION

- (a) Minimum requirement for heat island reduction shall be achieved through any combination of the following strategies for 50% of the non-roof site hardscape (including sidewalks, courtyards, parking lots, parking structures, and driveways), with exception of a Civic Space approved as a Piazza:
- i. Provide shade from open structures such as those supporting solar photovoltaic panels, canopied walkways, and pergolas
 - ii. Have open grid pavement system (at least 50% pervious)
 - iii. Provide shade from tree canopy (within five years of landscape installation)

- (b) Use roofing materials that have a Solar Reflective Index (SRI) equal to or greater than the values in the table below for a minimum of 75% of the roof area surface of all new buildings within the project; or install a vegetated ("green") roof for at least 50% of the roof area of all new buildings within the project. Combinations of SRI compliant and vegetated roofs can be used provided that they collectively cover 75% of the roof area of all new buildings.

Roof Type	Slope	SRI
Low-Sloped Roof	≤ 2:12	78
Steep-Sloped Roof	> 2:12	29

410. K. BICYCLE PARKING REQUIREMENTS

- (1) Applicants shall provide bicycle parking and storage capacity according to the following minimum requirements:
 - (a) Residential: At least 0.25 bicycle storage spaces per unit, or 0.5 for RIB1 & RIB2 . Provide secure visitor bicycle racks on-site, with at least one bicycle space per 10 dwelling units but no fewer than four spaces per project site.
 - (b) Retail: At least one secure, enclosed bicycle storage space per retail worker for 10% of retail worker planned occupancy. Provide visitor/customer bicycle racks on-site, with at least one bicycle space per 10,000 square feet of retail space, but no fewer than one bicycle space per business.
 - (c) Non-residential other than Retail: Provide at least one secure, enclosed bicycle storage

space per occupant for 10% of planned occupancy. Provide visitor bicycle racks on-site with at least one bicycle space per 10,000 square feet of commercial non-retail space but not fewer than four bicycle spaces per building.

410. L. SIGN REGULATIONS

410. M. RIVERSIDE INCENTIVE BONUSES

- (1) Two types of Riverside Incentive Bonus are available to applicants, RIB1 and RIB-2. The RIB2 bonus provides a higher level of yield than the RIB1 bonus but contains more restrictive requirements. In order to achieve a RIB, a landowner must control a minimum lot size, additional site frontage and meet stricter sustainable development standards.
- (2) **Riverside Incentive Bonus 1 (RIB1)**
RIB1 applies to all overlay districts, as designated in 410. B. 4. Site Development Standards and Incentives, and Figure 410-8 Development Standards for RO-1, RO-2, RO-3, RO-4, RO-5, and RO-6.
- (3) **Riverside Incentive Bonus 2 (RIB2)**
RIB-2 applies to RO-1, RO-2, RO-3, and RO-4, as designated in 410. B. 4. Site Development Standards and Incentives, and Figure 410-7 Development Standards for RO-1, RO-2, and RO-3.
- (4) **Sustainable Development Requirements for Bonuses**
In order to provide more sustainable development, green development requirements are increased for applicants trying to achieve a bonus. See Sec. 410. B. 4. Fig 410-8

SECTION 330-411 DESIGN MANUAL

The Town may adopt, based upon a favorable recommendation by the Town Board and Planning Board, an architectural and landscape design manual for use in the ROD.

SECTION 330-412 COMMUNITY BENEFIT UNITS

In accordance with the requirements of the Long Island Workforce Housing Act and Chapter 216 of the Town Code, it shall be the goal and objective of the Town Board to establish fifty percent (50%) of the total number of new housing units within the ROD Area, approved under this Article to be designated as Community Benefit Units. The location, number, size and type of Community Benefit Units shall be determined and distributed in accordance with the accompanying Final Generic Environmental Impact Statement (FGEIS) and Findings Statement.

SECTION 330-413. APPLICATION REVIEW PROCESS WITHIN THE ROD

- A. Objectives. The adoption of the planning standards set forth in the RRAP and the Riverside Overlay District encourages the economic redevelopment of the Riverside hamlet and enables the Town to provide an expedited and coordinated review of development proposals, thereby reducing the length and uncertainty normally associated with submitting applications using the underlying zoning. The Town Board hereby seeks to achieve the following goals and objections by the adoption of the ROD:
- (1) Provide applicants with an expedited review process;
 - (2) Ensure the applicant's compliance with ROD requirements, including submission requirements and compliance with development standards of the RODs;
 - (3) Review ROD incentives with applicants;
 - (4) Review and clarify ROD application procedures with applicants;
 - (5) Review the applicability of the Community Benefits Policies and any Project Labor Agreement with applicants; and
 - (6) Ensure coordination with other entities responsible for downtown civic space, parking, and other public improvements.

413. B APPLICATION REVIEW PROCEDURE

To achieve the above referenced goals and objectives, all development within the Riverside Overlay District ("ROD") shall comply with the following procedures rather than the procedures prescribed elsewhere in this Chapter.

- (1) **Initial Contact Meeting with the Master Developer.** A potential applicant for development or use of land within the ROD shall initiate the process by meeting informally, free of charge, with the Master Developer at any time during normal business hours on a walk-in basis or by appointment. The purpose of this meeting is to obtain information about the RRAP and the process and requirements for approval of a project under this Article. Potential applicants will receive instruction sheets and forms outlining the materials to be prepared for the mandatory Pre-Submission Conference with the Project Development Council as well as for the steps that follow in the Site Plan application process. The Master Developer will answer questions, including questions about the RRAP and the differences between this Article and underlying zoning. Potential applicants with small properties will be encouraged to work with other property owners and/or the Master Developer to form property owner alliances for joint applications. If the potential applicant elects to proceed with an application, the next step is a mandatory Pre-Submission Conference with the Project Development Council.
- (2) **Pre-Submission Conference with Project Development Council.** The membership, scope of review and

duties of the Project Development Council established by the Town Board on June 12, 2012 by resolution number 2012-641, are hereby modified to include a representative of the Master Developer; enlarge its scope of review to all applications for development within the ROD; and the following duties and responsibilities:

- (a) A pre-submission conference with the Project Development Council is mandatory for all applicants for development within the ROD. The purpose of the pre-submission conference is to review and discuss the applicant's development proposal and to advise the applicant as to the planning standards and recommendations under the ROD and its specific overlay zones; what must be shown on a site plan, wetland and/or special exception application, including all submission requirements, required improvements, required parking and civic spaces and/or fees in lieu thereof, required affordable housing, SEQRA requirements, wetland and/or special exception requirements (if any) and required compliance with the Community Benefits Policies. If the applicant believes that the provision of community benefit units, public and/or semi-public civic spaces on-site is not feasible or necessary for compliance with this Article, the applicant shall explain the reasons and discuss with the Project Development Council alternatives, including payment of a fee-in-lieu and possible off-site locations.
- (b) The pre-submission conference shall be held by appointment made through the office of the Department of

413. B APPLICATION REVIEW PROCEDURE (CONTINUED)

Land Management by completing an application specified by instruction sheets prepared by the Department of Land Management. Such application will typically include a conceptual site plan that shows proposed uses, location, footprint, and height of proposed buildings and accessory buildings, a sketch of the floor plans, elevations and facades of all buildings that face streets and public civic spaces, as well as civic space areas, setback areas, and parking areas, as well as a vicinity map with sufficient detail to show the immediate context of the proposed development and all surrounding properties within a radius of 200 feet. Any fee for the pre-submission conference shall be set by the Town Board in a fee schedule.

(c) The Project Development Council shall schedule and hold the pre-submission conference within twenty (20) days of receipt the application. Upon completion of the pre-submission conference, the Project Development Council shall within twenty (20) days prepare and forward to the applicant an advisory report with its recommenda-

tions for the development of the property, including the form of the next submission whether it be an application for a building permit; an application for a commercial compliance certificate; administrative site plan and/or wetland review with the Department of Land Management; or site plan, wetland and/or special exception review with the Planning Board. In the event the proposed development involves the subdivision of land, the Project Development Council shall advise as to its recommendations related to the proposed layout and design of the subdivision and the procedures necessary to file such subdivision.

(d) The Project Development Council, upon receipt of a referral from the Board of Appeals, shall consider and provide an advisory opinion on the effect of a proposed appeal, interpretation or variance on the ROD and the objectives of this Article, as well as on the statutory standards upon which the Board of Appeals may grant relief.

413.B.(3) ADMINISTRATIVE SITE PLAN REVIEW

(a) Notwithstanding the provisions of §330-183.1, all development within the ROD shall be eligible for administrative site plan review in accordance with the procedures set forth in §§330-183.2 and 330-183.3, provided the following criteria are complied with:

- [1] Administrative Site Plan review is recommended by the Project Development Council;
- [2] The applicant for the proposed development has elected to proceed under the provisions of this Article rather than development under the underlying

zoning; and

[3] Where a wetlands permit is required under Chapter 325, the development qualifies for administrative wetlands permit review under §325-8.1.

(b) Site plan review by the Planning Board shall be required in the event that the applicant disagrees with the recommendations of the Project Development Council or disagrees or desires relief from any requirements or conditions of the Town Planning and Development Administrator.

413.B.(4) SITE PLAN REVIEW BY THE PLANNING BOARD

All applications for development within the ROD not eligible for administrative site plan review under subsection 330-413A(3) shall be required to make a site plan, wetland and/or special exception application to the Planning Board in accordance with the procedures set forth in §§330-182 through 330-184.1. Notwithstanding any provisions to the contrary, the Planning Board may waive the pre-submission conference procedures under

§330-184A if the applicant for the proposed development has elected to proceed under the provisions of this Article rather than development under the underlying zoning and/or the Project Development Council has recommended that the applicant proceed directly final site plan application. As provided under §330-121B and §325-5, the Planning Board shall incorporate review of an application for a special exception use and/or a wet-

413.B(4) SITE PLAN REVIEW BY THE PLANNING BOARD

lands permit with review of the site plan. Additionally, the Planning Board shall have the authority to modify or waive, subject to appropriate conditions, any site plan submission requirement and/or design elements of this

Article, as in its judgment of the special circumstances of the development, are not requisite in the interest of the public health, safety or welfare and not contrary to the objectives of this Article.

413.B(5) SUBDIVISION REVIEW BY THE PLANNING BOARD

All applications for development with the ROD that involve the subdivision of the property shall be required to make application to the Planning Board in accordance with the procedures set forth in Chapter 292. Notwithstanding any provisions to the contrary, the Planning Board may waive the Pre-Application procedures under Chapter 292

if the applicant for the proposed subdivision has elected to proceed under the provisions of this Article rather than development under the underlying zoning and/or the Project Development Council has recommended that the applicant proceed directly to preliminary or final application.

413.B(6) APPEALS, INTERPRETATIONS AND VARIANCES

Appeals, interpretations, variances or other form of relief from the provisions of this Article may be granted by the Board of Appeals pursuant to the statutory requirements of Article XVIII of this Chapter and §§267, 267-a, 267-b and 267-c of the New York State Town Law. Notwithstanding any provisions to the contrary, applications to the Board of Appeals may be accepted and granted without the need for a denial by the Building Inspector as provided in of the aforesaid statutes. All applications to the Board of Appeals for development within the ROD shall be referred to the Project Development Council for an advisory opinion on the effect of a proposed appeals, interpretation or variance on the ROD and the objectives of this Article, as well as on the statutory standards upon which the Board of Appeals may grant relief. The Project Development Council shall have thirty (30) days

after receipt of the referral from the Board of Appeals to provide written comments to the Board of Appeals. Upon the expiration of the thirty day time period, the Board of Appeals may proceed with consideration of the application, however the failure of the Project Development Council to comment within said thirty day time period shall not be construed as an endorsement of the application. When an application is referred to the Project Development Council by the Board of Appeals, the Project Development Council shall specifically address whether or not the proposed relief if granted will produce an undesirable change to the desired walkable and pedestrian-friendly neighborhood character to be created by this Article. The Board of Appeals shall incorporate specific findings explaining the planning and design rationale for its decision.

413. K FEES

413. L DURATION OF APPROVALS

SECTION 330-414. RESERVED

SECTION 330-415. COMPLIANCE WITH THE STATE ENVIRONMENTAL QUALITY REVIEW ACT (SEQRA)

A. In accordance with the requirements of Chapter 157 (Environmental Quality Review) of the Town Code and the New York State Environmental Quality Review Act (SEQRA) and the regulation issued thereunder, the Town Board has accepted and approved a Draft and Final Generic Environmental Impact Statement (GEIS) and a Findings Statement which analyze the potential environmental impacts of adoption of this ROD. The Findings Statement, summarizes the Town Board's findings on these potential impacts and establishes conditions and thresholds for development under this Article and the extent to which further SEQRA review may be required for site-specific impacts of projects to be built under the terms of this Article.

B. The Findings Statement includes conditions and thresholds for the entire ROD. All development within the ROD that is subject to SEQRA shall comply with the conditions and thresholds in the Findings Statement.

SECTION 330- 416 IMPLEMENTATION OF COMMUNITY BENEFITS POLICIES

A. To ensure the fulfillment of the community benefit goals of the Town, all development within the ROD that is approved under this Article shall comply with the requirements of any adopted community benefits policies in effect as of the date such policies have been adopted or modified by resolution of the Town Board. These policies include: a Construction Jobs Policy, an Operations Jobs Policy, and a Local Contracting Policy (collectively, "the Community Benefits Policies"). No building permit may be issued under this Article until the Community Benefits Policies have been adopted and are in effect. Compliance with the terms of these policies shall be made a condition of any site plan approval within the ROD after adoption of such policies, and such compliance shall be monitored and enforced as set forth in the Community Benefits Policies and as conditions of approval of a site plan under this ordinance. Where such conditions have

been imposed on site plan approvals, no building permit, certificate of occupancy, or business license or business license renewal shall be issued unless the Applicant has demonstrated compliance with these policies. In furtherance of the objectives of this Section 330-416, applicants who receive site plan approval under this Article XXXI shall pay a fee, determined by the Town Board, in support of a Jobs and Business Referral Center and Oversight Committee to be established by the Town Board to monitor, implement and enforce the Community Benefits Policies.

SECTION 330- 417 AMENDMENTS TO THIS ARTICLE

This Article may be amended as provided in Article XX of the Zoning Ordinance. Prior to adopting an amendment, the [TBD] shall refer such proposed amendment to the PDC for comment. If the PDC does not comment within 30 days of such referral, the Town Board may enact the amendment without receiving such comment. In the event that the Town Board does not follow the recommendation of the PDC, it shall provide a written statement of its reasons in the resolution of adoption of the amendment. All such amendments shall be consistent with the Comprehensive Plan and the Final Generic Supplemental Environmental Impact Statement.

SECTION 330- 418 INSPECTION, VIOLATIONS, AND ENFORCEMENT

SECTION 330- 418 INSPECTION, VIOLATIONS, AND ENFORCEMENT (CONTINUED)

SECTION 330- 419 RESERVED

SECTION 330- 420 RESERVED

RIVERSIDE OVERLAY DISTRICT

Town of Southampton

Attachment B
TOWN OF SOUTHAMPTON
RIVERSIDE OVERLAY DISTRICT MAP AMENDMENTS











AMENDMENTS TO THE ZONING MAP OF THE TOWN OF SOUTHAMPTON, NY:

1. Add Riverside Overlay District to the Zoning Map of the Town of Southampton.

RIVERSIDE OVERLAY DISTRICT

Town of Southampton

LEGEND

- | | |
|---|--|
|  RO-1: RIVERSIDE HAMLET CENTER |  RPL: PARKLANDS |
|  RO-2: RIVERSIDE HAMLET NEIGHBORHOOD |  TYPE "A" ROAD |
|  RO-3: RIVERSIDE SPECIAL DISTRICT |  TYPE "B" ROAD |
|  RO-4: RIVERSIDE GATEWAY DISTRICT |  RIVERSIDE BOUNDARY |
|  RO-5: RIVERSIDE SUBURBAN DISTRICT |  DISTRICT BOUNDARY |
|  RO-6: RIVERSIDE WATERFRONT DISTRICT | |

