

Property Information - Zoning

SITE: 94 DUNE ROAD HOLDING CORP
 SCTM #: 900-385-1-37.3
 PROJECT LOT AREA: 9.29 ± ACRES (405,081.6 SF)

ZONE: RESIDENCE (R-80)

| | REQUIRED | PROPOSED |
|----------------------------|----------------|--|
| MIN. LOT SIZE | 80,000 SQ. FT. | 405,081.6 SQ. FT. |
| MIN. LOT WIDTH AT FRONTAGE | 175' | 405.68' |
| MAXIMUM BUILDING COVERAGE | 10% | *11.21% |
| MAXIMUM LOT COVERAGE | 10% | *23.38% (INC. TENNIS, WALKS POOL) |
| MIN. FRONT YARD | 80' | 214.3' |
| MIN. SIDE YARD | 30' (75' BOTH) | 30.7' (222.8' BOTH) |
| MIN. REAR YARD | 100' | 384.3' (NEAREST REAR) |
| MAXIMUM HEIGHT | 32' | 1,299.6' (REAR POINT) |
| NUMBER OF STORIES | 2 STORIES | 32' (RESTAURANT) 30' (CLUBHOUSE) 2 STORY |

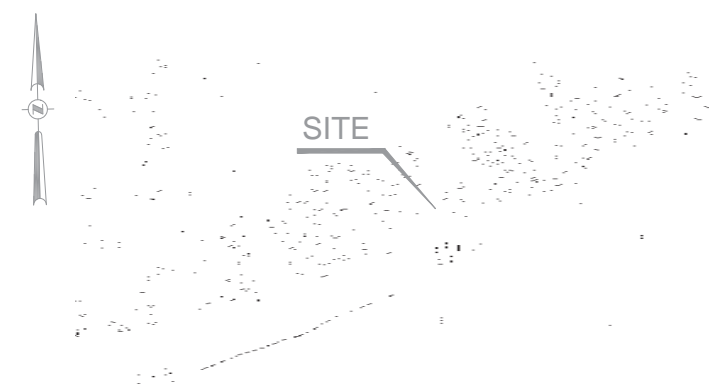
* VARIANCE REQUIRED

Parking Totals

| USE | REQUIRED | PROVIDED |
|--|--|--|
| MARINA WITH NO ON-LAND BOAT STORAGE OR BOATYARD ACTIVITIES | 0.5 PER BOAT SLIP, MOORING, DOCK SPACE OR SIMILAR UNIT OF CAPACITY; PLUS 1 PER EACH EMPLOYEE (0.5 * 20 + (1 * 5) 17 REQUIRED | 65 (4 ADA' VAN ACCESSIBLE, 2 - AT STP) |
| YACHT CLUB | RETAIL, SHOP FOR CUSTOM WORK, PERSONAL SERVICE AND OTHER SERVICE USE 1 PER 180 SF OF GROSS FLOOR AREA 14,231.78 SF / 180 SF = 90.17 44 REQUIRED | 1 |
| RESTAURANT | 1 PER 3 PERSONS OF RATED OCCUPANCY AS DETERMINED BY THE TOWN DEPARTMENT OF FIRE PREVENTION, PLUS 1 PER EMPLOYEE (100 SEATS / 3 PERSONS) + (1 * 10) 43 REQUIRED | 66 STALLS |
| TOTAL REQUIRED: | 104 PARKING SPACES | |
| PROVIDED: | 65 - SITE PARKING STALLS (2 - AT STP) | |
| USE | PROVIDED | |
| AUTOMOBILE | 65 (4 ADA' VAN ACCESSIBLE, 2 - AT STP) | |
| TRUCK | 1 | |
| TOTAL PARKING ON SITE | 66 STALLS | |

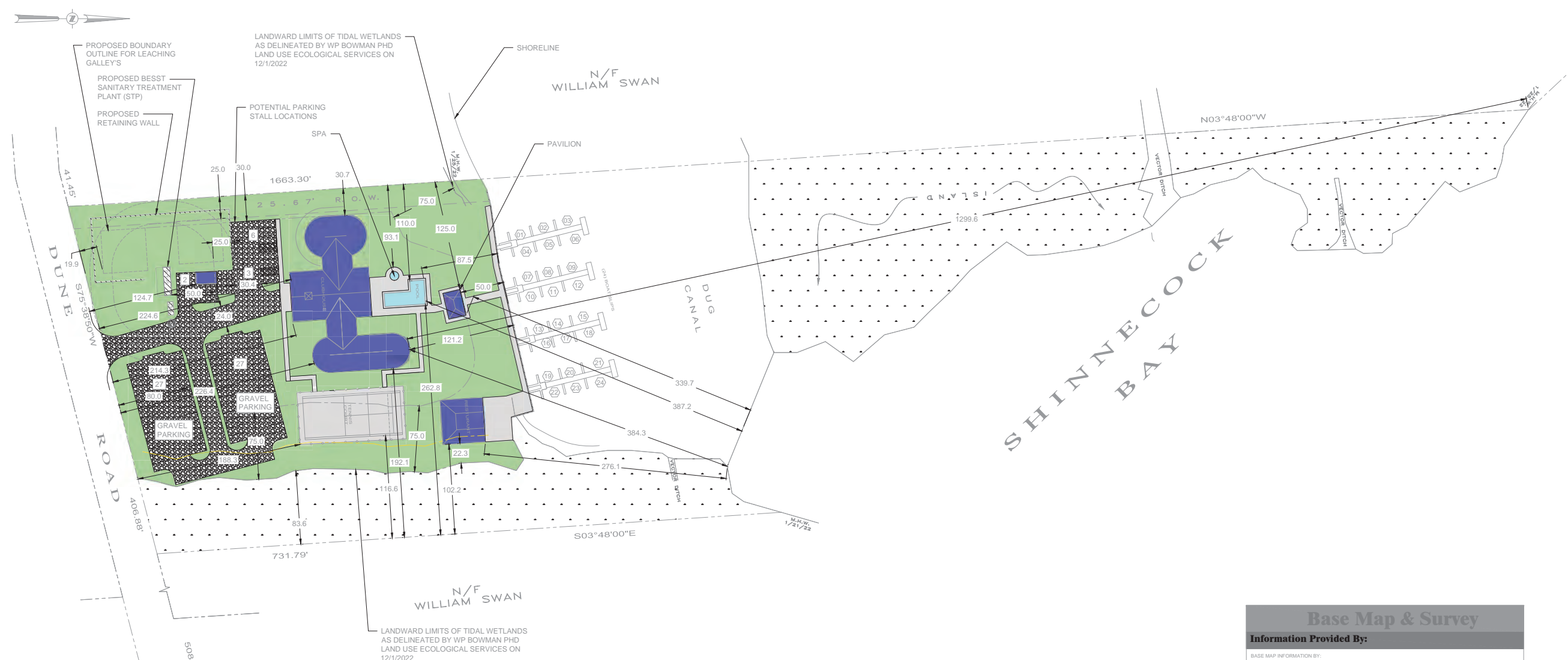
Legend

- BUILDING
- GRAVEL
- IMPERVIOUS - BUILDING ATTACHMENTS
- IMPERVIOUS - OTHER
- PERVIOUS
- POOL
- WETLANDS



LOCATION PLAN

SCALE: 1" = 1,500'
 0 1,500 3,000
 SCALE: 1" = 1,500'



ALTERNATE DEVELOPMENT PLAN 5: REDEVELOPMENT OF PROPERTY FOR PRIVATE YACHT CLUB

SCALE: 1" = 60'
 0 60 120
 SCALE: 1" = 60'

Base Map & Survey

Information Provided By:
 BASE MAP INFORMATION BY:
 SHAWN LEONARD, A.I.A. ARCHITECT
 320 HAMPTON ROAD
 SOUTHAMPTON, N.Y. 11968
 DATED: APRIL 7, 2022
 SURVEY INFORMATION PROVIDED BY:
 RAYNOR, MARCOS AND CARRINGTON, DATED: JANUARY 2023
 WETLANDS DELINEATION ADDED, LANDWARD LIMITS OF TIDAL WETLANDS AS DELINEATED BY WP BOWMAN PHD LAND USE ON 12/1/2022

PWGC
 CLIENT DRIVEN SOLUTIONS
 P.W. GROSSER CONSULTING ENGINEER AND HYDROGEOLOGIST, P.C.
 630 Johnson Avenue - Suite 7
 Bohemia - NY - 11716-2618
 Phone: (631) 589-6353 - Fax: (631) 589-8705
 E-mail: INFO@PWGROSSER.COM

CONSULTANTS
 FOR
 TOWN OF
 SOUTHAMPTON
 REVIEW
 NOT FOR
 CONSTRUCTION

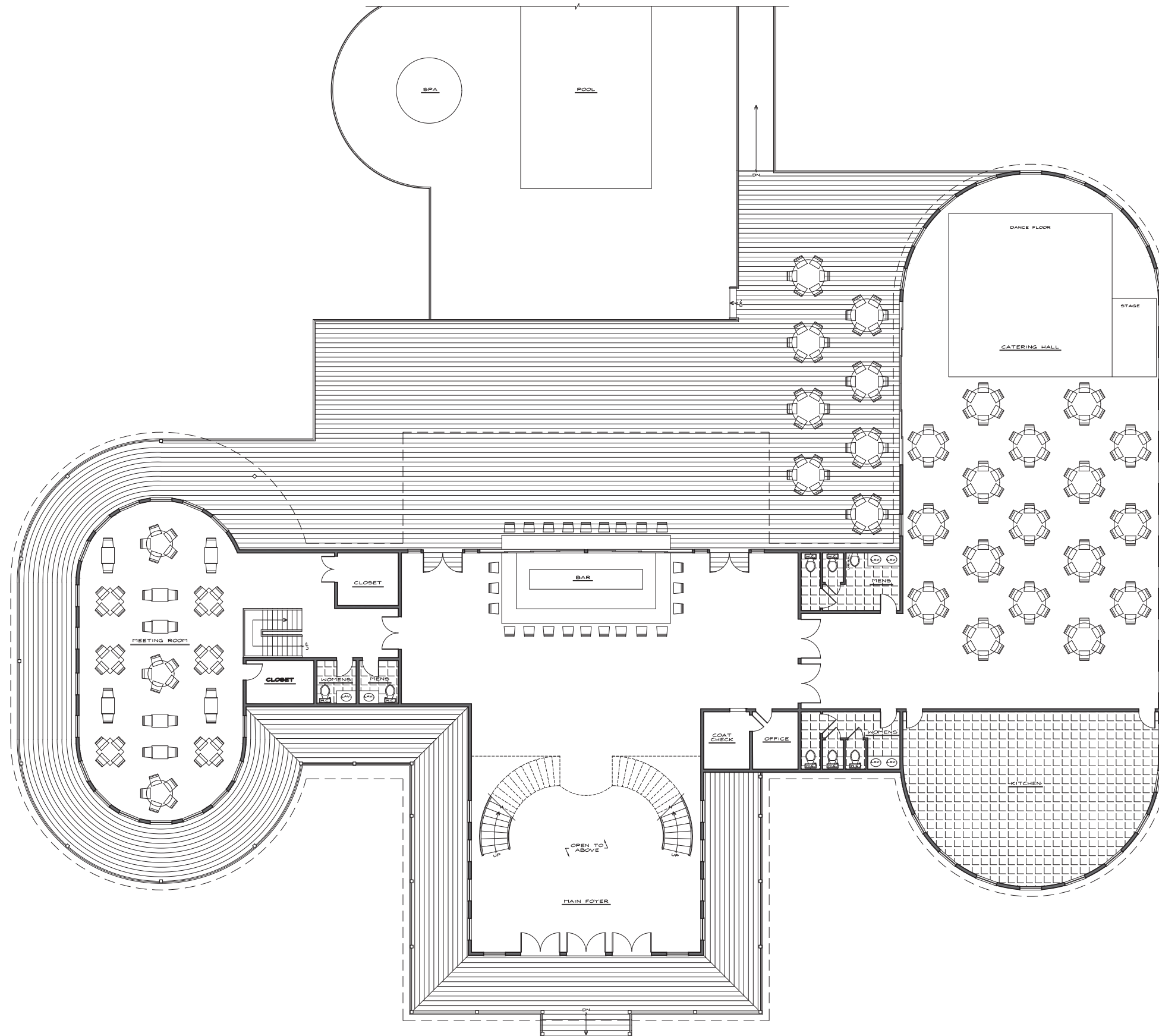
| | | |
|-------------|-----------------------------|----------------|
| 7 | | |
| 6 | | |
| 5 | | |
| 4 | | |
| 3 | | |
| 2 | | |
| 1 | REVISED PER DESIGN FEATURES | 01/01/2024 |
| Number | Revised Description | Revised Date |
| Designed By | JJA | Date Submitted |
| Drawn By | JJA | Date Created |
| Approved By | PKB | Scale |
| | | AS NOTED |

94 DUNE ROAD HOLDING CORP.
 PO BOX 681
 EAST QUOGUE, NY
 Project:
**SUNSET HARBOR
 CONDOMINIUM
 ALTERNATIVES**
 Project Address:
 94 DUNE ROAD
 EAST QUOGUE, TOWN OF SOUTHAMPTON
 SUFFOLK COUNTY, NEW YORK
 County Tax Map Number: 900-385-01-37.3
 Contract Number: DRH1701
 Regulatory Reference Number:

**ALTERNATIVE 5
 REDEVELOPMENT OF
 PROPERTY OF PRI. YACHT CLUB**

STATE OF NEW YORK
 SOUTHAMPTON COUNTY
 ENGINEER
 90432024
 Drawing Number:
ALT-5
 Sheet 5 of 5
 Project Number:
 DRH1701

DOLPHIN LA.



AREA CALCULATIONS

| | |
|------------------------|---------------|
| FIRST FLOOR | : 9,280 S.F. |
| SECOND FLOOR | : 7,270 S.F. |
| TOTAL BUILDING AREA | : 16,550 S.F. |
| | |
| FIRST FLOOR DECKS | : 6,373 S.F. |
| SECOND FLOOR DECKS | : 1,294 S.F. |
| TOTAL DECK AREA | : 7,667 S.F. |
| TOTAL BUILDING & DECKS | : 24,217 S.F. |

YACHT CLUB FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"



SHAWN F. LEONARD
ARCHITECTS
 320 HAMPTON ROAD, SOUTHAMPTON, NEW YORK 11968
 (631) 287-5557 Fax (631) 287-5558

PROPOSED YACHT CLUB FOR
94 DUNE ROAD
 EAST QUOGUE, NEW YORK

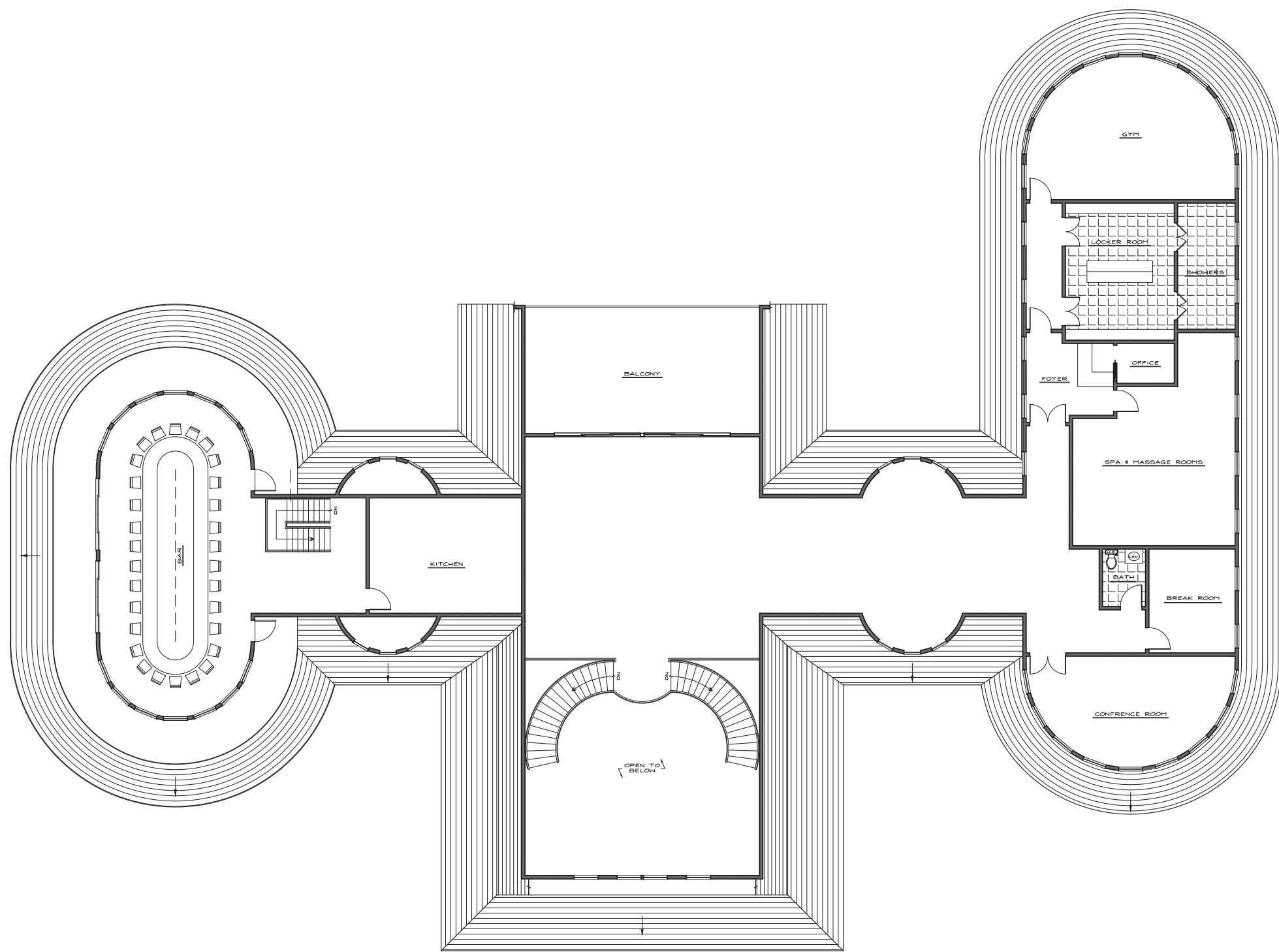
| No. | Date | Title |
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REVISIONS:

Drawn By: GMB
 Date: 3/16/2022
 Drawing No.:

A3

FILE:
DRAWER:



AREA CALCULATIONS

| | |
|------------------------|---------------|
| FIRST FLOOR | : 9,280 S.F. |
| SECOND FLOOR | : 7,270 S.F. |
| TOTAL BUILDING AREA | : 16,550 S.F. |
| FIRST FLOOR DECKS | : 6,373 S.F. |
| SECOND FLOOR DECKS | : 1,294 S.F. |
| TOTAL DECK AREA | : 7,667 S.F. |
| TOTAL BUILDING & DECKS | : 24,217 S.F. |

YACHT CLUB SECOND FLOOR PLAN
SCALE: 1/8"=1'-0"



S H A W N F. L E O N A R D
A R C H I T E C T
320 HAMPTON ROAD, SOUTHAMPTON, NEW YORK 11968
(631) 287-5557 Fax (631) 287-5558

PROPOSED YACHT CLUB FOR
94 DUNE ROAD
EAST QUOGUE, NEW YORK

| No. | Date | Title |
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REVISIONS:

Drawn By: GMB
Date: 3/16/2022
Drawing No.: **A4**

FILE:
DRAWER:



SHAWN F. LEONARD
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YACHT CLUB - FRONT ELEVATION
 SCALE: N.T.S.



YACHT CLUB - BACK ELEVATION
 SCALE: N.T.S.

PROPOSED YACHT CLUB FOR:

94 DUNE ROAD

EAST QUOGUE, NEW YORK

| No. | Date | Title |
|------------|------|-------|
| REVISIONS: | | |
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| | | |
| | | |

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 Date: 3/16/2022
 Drawing No.:

R2

FILE DRAWER:



Rendering 1

*View from 95 Dune Rd
Looking Center*



Rendering 2

*View from 95 Dune Rd
Looking Left*



Rendering 3

*View from 95 Dune Rd
Looking Right*



Rendering 4

*View from 101 Dune Rd
West building looking Center*



Rendering 5

*View from 101 Dune Rd
West building looking Left*



Rendering 6

*View from 101 Dune Rd
West building looking Right*



Rendering 7

View from 101 Dune Rd
East building looking Center



Rendering 8

*View from 101 Dune Rd
East building looking Left*



Rendering 9

*View from 101 Dune Rd
East building looking Right*



Rendering 10

View from Shinnecock Bay



Rendering 11

View from Dune Rd