

DEPARTMENT OF LAND MANAGEMENT
 PLANNING BOARD
 116 Hampton Road
 Southampton, NY 11968

Phone: (631) 287-5735

Fax: (631) 287-5706

www.southamptontownny.gov

TOWN OF SOUTHAMPTON



MARIA Z. MOORE
 TOWN SUPERVISOR

CHAIR
 JACQUI LOFARO

VICE CHAIRPERSON
 DENNIS FINNERTY

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 THOMAS NEELY

SITE PLAN/SPECIAL EXCEPTION APPLICATION FORM

This application form is required as part of any request to process the action listed below. In addition, Chapter §330 of the Town of Southampton Code requires specific material to be submitted in conjunction with this form. Other required items are indicated on the attached application checklist. It is the applicant's responsibility to insure that application package is complete and accurate. Incomplete applications will not be processed.

1. All applications must be completed in full and comply with §330 of the Town Code. Incomplete application packages will not be accepted.
2. These instructions and the application form shall be read carefully and understood before completing. Any questions should be referred to the Planning Division, Ph: 631-287-5735.
3. As per §330-183 of the Zoning Law, a complete Site Plan application shall consist of the following: *(check those appropriate)*
 - Application form and copies in appropriate numbers
(a minimum of fifteen copies and additional copies if necessary)
 - Appropriate Site Plan review fee (See § 330-183B)
 - Area to be improved is less than 500 sq.ft. **\$1,200**
 - Area to be improved is greater than or equal to 500 sq.ft. and less than 10,000 sq.ft. **\$2,200**
 - Area to be improved is greater than or equal to 10,000 sq.ft.: **\$.25 per sq.ft.** *(not to exceed \$15,000)*
 - Site Plans, in appropriate quantity *(a minimum of fifteen copies and additional copies if necessary)* complying with minimum submission requirements listed in §330-183-C. The site plan may include landscape/grading plans, lighting plans, drainage plans, architectural building elevations and floor plans
 - Appropriate Environmental Assessment Form (EAF, if necessary. Check Town Code §157 and with the Planning Department).
4. A complete Special Exception application shall consist of the four items (a-d) mentioned in number 3 above, plus the following (check those appropriate, write NA where not applicable).
 - Legal petition, signed and notarized, explaining in detail how the proposed project will comply with Special Exception Standards.
 - Fee of **\$1,200** (plus **\$325** for special conditions and safeguards) (separate from review fee)

5. A minimum of fifteen sets of applications and plans are required. Additional copies of the application (SP and/or SE) and site plan may be necessary, if the following conditions are met:

- 2- Wetlands Permit required (See Chapter §325 of Southampton Town Code)
- 1- Project fronts a County Road
- 3 - Project fronts a State Road
- 1 - Special Exception Permit
- 1 - Project located in Pine Barrens compatible growth area or core area

_____ Total Copies

6. Application is hereby made to the Southampton Town Board for a Construction Permit for buildings and other structures customarily accessory and incidental to agricultural production as defined by Section 301 of the New York State Agricultural and Markets Law and in accordance with the provisions of the Zoning Law of the Town of Southampton Article X Agricultural Overlay District, Section § 330-50

Farmlands Preservation Program. Further, nine (9) copies of the following are submitted herewith (check those appropriate, write NA where not applicable).

- A copy of the approved subdivision map defining the grant easement (agricultural reserve) and the location of the proposed construction, if applicable.
- A copy of the recorded grant easement (agricultural reserve) or development rights indenture
- A copy of the Planning Board resolution approving the subdivision plan and other covenants, if applicable.
- A site plan, at a scale of no less than one (1) inch equals forty (40) feet, prepared by an architect, civil engineer, or surveyor, and consisting of the following information unless waived by the Farmland Permit Administrator.
- Agricultural Construction Permit Application Fee \$1,200.00

7. A Fee Schedule is included in this package.

PLEASE NOTE: If the site was subject of a previous site plan approval then new site plans may be necessary for the Special Exception request, however, the required number of as built surveys and petitions are still required.

Application Name: North Edge Stables II, LLC

SCTM No.: 0900-051.00-02.00-004.008

Property Address: 819 Lumber Lane, Bridgehampton, NY 11932

I. General Information

a) Applicant's Name: North Edge Stables II, LLC
Address: c/o 1260 Stelton Road, Piscataway, NJ 08854
Phone No.: 908-616-2525

b) Name of Business (Existing or Proposed): _____
Address: _____

c) If the applicant is a corporation, give the name and title of the responsible Officer:
Name: N/A
Title: _____

d) Landowner's Name: Steven Klein
Address: 888 Newark Avenue, Jersey City, NJ 07306

e) Licensed Architect, Landscape Architect, Civil Engineer or Land Surveyor
Name: The Raynor Group, P.E. & L.S., PLLC
License No: 073544
Address: P.O. Box 720, Water Mill, NY 11976
Telephone: 631-726-7600

f) If the applicant does not own the property, prepare the Owner Endorsement Form at the end of this packet establishing authorization of the applicant's proposed subdivision of his land.

g) All communications with regard to this subdivision shall be addressed to the following person until further notice:
Name: Wayne D. Bruyn, Esq. - O'Shea, Marcincuk & Bruyn, LLP
Address: 250 North Sea Road, Southampton, NY 11968
Phone No: 631-283-7007

II. Proposed Site

a) General location of Property southeast corner
of, Scuttle Hole Road, approx. Lumber Lane
(street or road)
(feet) (north/east/south/west)
of, _____, m. Bridgehampton
(nearest interesting street)
(hamlet)

b) Total area under consideration: 1,305,761 sq. ft. or
29,976 acres.

c) Zoning District(s): CR-80
Zoning Districts of adjoining Properties: CR-80

- d) Zoning Overlay(s) (Please check all that apply)
- i. Agricultural*
 - ii. Aquifer Protection
 - iii. Tidal Flood Plain
 - iv. Tidal Wetland & Ocean Beach
 - v. Old Filed Map
 - vi. Archaeological* (NYS Circles and Squares map)

*Include a survey showing the location of Class I and II prime agricultural soils

e) Latest Deed(s) describing this parcel(s) is/are recorded in the Suffolk County Clerk's Office as Follows:

DATE:	LIBER:	PAGE:
March 7, 2007	12497	15

f) Are there any encumbrances or liens against this land other than mortgages? Yes No

g) Description of Project:
In the space below, please provide a description of the project, the proposed use and operation thereof, including a detailed explanation of the design concept, the objective of the project sponsor and how the project is or is not in compliance with the Town Code.
Additional sheets may be added if necessary
see attached addendum

III. Characteristics of Site and Surrounding Lands

a. Current land use of site (agricultural, commercial, undeveloped)

agricultural

b. Current conditions of site (building, brush, etc.)

agricultural/paddock

c. Character of surrounding lands (within 200 feet) (residential, commercial, agriculture, wetlands, etc)

agricultural/winery to east; residential to south; agricultural and residential to west and north

IV. Nature of Use (i.e. retail, office, warehouse): horse farm

IV. Nature of construction:

a. Anticipated construction time: 18 months

b. Will Development be staged? YES: NO:

V. Impact:

a. Anticipated increase in number of residents, shoppers, employees, etc.

12 - 15 employees

VI. Zoning:

a. Has an application been made to the Zoning Board of Appeals for this property? YES: NO:

If yes, please list the name of application and date of determination.

b. Is a Change of Zone requested at this time? YES: NO:

VII. Buildings:

a. Are all buildings and structures shown on the survey? YES: NO:

b. Existing Building Area Coverage: Square Feet: 0 Percent Lot: 0

c. Proposed Building Area Coverage: Square Feet: 69,422 Percent Lot: 5.3

d. Height of Proposed Buildings: Feet: 33 Stories: 1

e. Residential Buildings: Number of Dwelling Units by Size

Agricultural Labor Housing - see attached plans

f. Non-Residential Buildings: Total Floor area and Total Sales area

Agricultural Buildings - see attached plans

g. Is a cellar proposed? YES: NO:

h. Proposed siding material: see attached plans

Roofing material: see attached plans

Construction Type: see attached plans

i. Are fire-walls proposed or necessary? YES: NO:

j. Standard Industrial Classification Code Number:

0272/7999

(as identified in the Table of Use Regulations listed in the Town Code)

VIII. Utilities

The site will be served by the following utilities:

Fire District: Bridgehampton

Water District or Company: SCWA

Electric and/or Gas Company: PSEG

Post Office: Bridgehampton

School District: Bridgehampton

IX. Signs

- a. Are there any existing free-standing or attached signs? YES: NO:
(all signs must be indicated on site plan.)
- b. Have sign permits been obtained for all existing signs? YES: NO:
- c. Are free-standing or attached signs proposed? YES: NO:

****Plans indicating location, size, colors and materials of all proposed signs must be submitted with the site plan application. A Sign Permit from the Building Department must be obtained for all signs.**

X. Parking

- a. Number of off-street parking spaces required as calculated using the Schedule of Off-Street Parking Space Requirements for Non-Residential Uses, listed in Section 330-94 of the Town Code: see attached plans
- b. Number of existing parking spaces: 0
- c. Number of handicap parking spaces provided (must be at least 5% of total parking spaces provided.): 2
- d. Number of truck loading spaces: see attached plans
- e. Is a parking waiver requested? YES: NO: If yes, for how many spaces? ----

Note: a formal letter requested waiver must be submitted separately along with this application

XI. State Environmental Quality Review Act (SEQR)

(Pursuant to Part 617, NYCRR and Chapter 157 of Town Code)

- a. Do any tidal or freshwater wetlands occur on the subject site? YES: NO:
- b. Are the wetlands and/or the proposed activity regulated by the following agencies?
 New York State Department of Environmental Conservation: YES: NO:
 U.S. Army Corps of Engineers: YES: NO:
 Southampton Town Conservation Board: YES: NO:
 Southampton Town Trustees: YES: NO:
- c. Has a permit been obtained from any of the above agencies? YES: NO:
If yes, which ones? _____
- d. Is the site located in a designated critical environmental area? YES: NO:
If yes, which ones? _____
- e. Is the proposed action a Type I, Type II, or unlisted action? Type II Action (see 617.5(c)(4))

Note: Part I of an Environmental Assessment Long Form must be submitted for all Type I and Unlisted Actions

***PLEASE SUBMIT 15 COPIES OF APPLICATION AND PLANS. ***

***Note:** A minimum of 15 copies is required. Additional copies may be necessary.

I hereby depose and certify that all the above statements and information, and all statements and information contained in the supporting documents and drawings attached hereto and true and correct.

North Edge Stables II, LLC

Applicant's Name

Wayne Bruyn
Applicant's Signature
Wayne D. Bruyn, Esq., Attorney for Applicant

Sworn before me this 22nd day of July 2025

[Signature]

Notary Public



SITE PLAN/SPECIAL EXCEPTION APPLICATION FORM CHECK LIST
THIS FORM TO BE COMPLETED BY APPLICANT

Project Name: North edge Stables

SCTM No.: 0900-051.00-02.00-004.008

Property Address or Location: 819 Lumber Lane, Bridgehampton, New York 11932

Contact Person: Wayne D. Bruyn, Esq.

Application submitted by: Property Owner Owner's Agent

Date: July 22, 2025

SUBMISSION REQUIREMENTS
IS ITEM INCLUDED?
PLEASE CHECK YES OR NO

	YES	NO
Fees:		
Site Plan:		
1. The improved or altered area is 500 SF or less	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. The improved area of the project is greater than 500 SF but does not exceeds 2 acres	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. The improved area of the project exceeds 2 acres	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Special Exception Fee	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Fee Waiver Requested	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Site Plan Application Form	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Special Exception Legal Petition	<input checked="" type="checkbox"/>	<input type="checkbox"/>
 Site Plan: Legal Data		
Site plan @ 1" = 40' or greater	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Key Map @ 1" = 200' or greater	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Name and Address of Owner of Record	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Name and Address of person/firm preparing map	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Signed/Stamped	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Date	<input checked="" type="checkbox"/>	<input type="checkbox"/>
North Arrow	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Scale (Graphic or Written)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Property Description (error of closure not exceed 1 in 10,000)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location, Names, Ownership of adjacent streets and curblines	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Adjoining lands and owners	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Public easements, setbacks, or dedicated area on site or adjoining land	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Outline of existing easements, deed restrictions or covenants on site	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Existing Zoning	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Site Plan: Natural Features

Existing contours at max. 2' intervals, or spot elevations (Identify source of contour information)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Approximate boundaries of areas subject to flooding	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Identification of unique natural features (wetlands, steep slopes)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Identification of cultural features on site or adjacent	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Archeological, historic buildings, agricultural fields on or adjacent	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Site Plan: Existing Structures and Utilities

Building footprints and uses not requiring buildings	<input checked="" type="checkbox"/>	<input type="checkbox"/>
All paved areas, parking areas, sidewalks, vehicular access to street	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Existing culverts (dimension and grades) flow direction and grades	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Underground/above ground utilities on site and adjacent		
Electrical Service	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Water Mains	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sewer Mains	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
All existing site structures (including fences)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Location and use of all buildings and structures within 200'	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Nearest Fire Hydrant, cisterns, other fire protection	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Site Plan: Proposed Development

Location of building or structures (Indicate all setbacks and horizontal distances from existing structure)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Location and design of non-structural elements (parking, loading areas)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Parking calculations		
Automobile	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Truck	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Outdoor lighting plan – location & lamp Design (Lightening power w/ foot-candles indicated on site plan, and time of use)	<input type="checkbox"/>	<input type="checkbox"/>
Grading and drainage plan	<input type="checkbox"/>	<input type="checkbox"/>
Drainage calculations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Proposed contours/spot elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sewage disposal treatment	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Storage areas for materials, vehicles, equipment, supplies, products	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Building Elevations including:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Description of materials, colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sign Plans	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Proposed location	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Design	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Landscape Plans	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Plant List	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Size and Quantity	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Cablevision installations, location of water valves, water supply	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Outdoor storage areas (located in side or rear yard and screened or fenced)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Phased development plans (when appropriate)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Compliance with ZBA Variance (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Additional Materials:

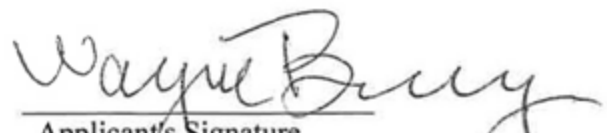
Certificate of Appropriateness (Landmarks & Historic District)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Wetland Permit Application (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Sign Permit Application (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Owners Endorsement	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Disclosure Affidavit	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Agriculture Data Statement	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Additional Comments:

For all information that is not provided state "No".
If the applicant believes these items are not applicable, indicate such and give reasoning.

Other comments about the submission may be provided here.

North Edge Stables II, LLC
Applicant's Name


Applicant's Signature
Wayne D. Bruyn, Esq., Attorney for Applicant

AGRICULTURAL DATA STATEMENT

Pursuant to §283-a of the New York State Town Law, any application for a special permit, site plan approval, use variance or subdivision approval requiring municipal review and approval by the Town Board, Planning Board or Zoning Board of Appeals that would occur on property within an agricultural district containing a farming operation or on properties within 500 feet of a farm operation located within an agricultural district, shall include an Agricultural Data Statement. The law also requires that the reviewing Board mail written notice of such an application to the owners of land within the agricultural district that contains a farm operation, which is located within 500 feet of the boundary of the project site. The cost of the mailing shall be borne by the applicant.

1. Project Name: North Edge Stables

2. Name of Applicant: North Edge Stables II, LLC

3. Address of Applicant: c/o 1260 Stelton Road, Piscataway, NJ 08854

4. SCTM # of Project: 0900-051.00-02.00-004.008

5. Project Location: 819 Lumber Lane, Bridgehampton, NY 11932

6. Description of Project: Proposed horse farm and horse stabling facility (see addendum)

7. If the property that is the subject of the pending development application is located in an Agricultural District, you must compile and submit a list of tax parcels, with owners names and addresses, for all tax parcels containing a farm operation located within 500 feet of the property that is the subject of the pending development application.

If the property that is the subject of the pending development application is located outside of an Agricultural District, you must compile and submit a list of tax parcels, with owners names and addresses, for all tax parcels containing a farm operation located within an Agricultural District and within 500 feet of the property that is the subject of the pending development application.


8. Submit a survey map showing the site of the proposed project relative to the location of farm operation parcels identified in item 6, above.

9. Submit legal size envelopes, pre-addressed to each of the parcel landowners identified in item 6, above with pre-paid certified mail postage, together with pre-addressed, green, return receipt cards

for each mailing. The return address on the return receipt card must read "SOUTHAMPTON TOWN PLANNING BOARD, 116 HAMPTON ROAD, SOUTHAMPTON, NY 11968"

If you do not believe that you are subject to this requirement, please complete the following and sign below:

I have reviewed the requirements for the submission of an Agricultural Data Statement and find that said statement is not applicable to this application for the following reasons:



Applicant's/ Applicant Agent's Signature
Wayne D. Bruyn, Esq., Attorney for Applicant

TOWN OF SOUTHAMPTON

DEPARTMENT OF LAND MANAGEMENT
116 HAMPTON ROAD
SOUTHAMPTON, NY 11968

PHONE: (631) 702-1800
WWW.SOUTHAMPTONTOWNNY.GOV



MARIA Z. MOORE
TOWN SUPERVISOR

JANICE SCHERER
TOWN PLANNING AND
DEVELOPMENT ADMINISTRATOR

PLEASE NOTE: If ownership is held jointly or in partnership, each owner and/or partner must sign a separate owner's endorsement. If the owner or owners are making the application, this endorsement is not required.

OWNER'S ENDORSEMENT

I, Steven Klein, hereby affirm:

I am: (check one)

- 1) the sole owner in fee
- 2) a part owner in fee
- 3) an officer of the corporation which is the owner in fee of the premises described in the foregoing application.
- 4) designated party authorized to act pursuant to a trust or other legal document.
- 5) member/owner(s) of Limited Liability Corporation (LLC).

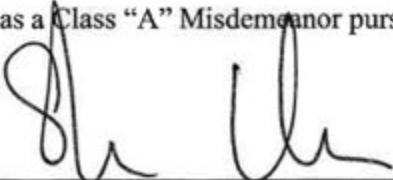
(if you checked #3, #4 or #5, please provide proof of legatee (i.e.: Corporate Resolution; Surrogate Letter; Executor of the Will; Certified Letter of Testamentary; Letter of Administration; Attorney-Opinion Letter; Letter of Probate; Power of Attorney, etc.)

I reside at 888 Newark Avenue
Mailing Address
Jersey City, NJ 07306
Hamlet/Post Office/Village State Zip Code

I have authorized O'Shea, Marcincuk & Bruyn, LLP
to make the foregoing application (name and/or #) to Southampton Town for approval as described herein.

READ AND CHECK BOX

I understand that false statements made herein are punishable as a Class "A" Misdemeanor pursuant to Section 210.45 of the New York State Penal Law.



Signature Steven Klein
STEVEN Klein

PRINT NAME

(If owner is a corporation, please indicate name of corporation and the title of the corporate officer whose signature appears above)

5. During the 24 months before the filing of this application, have any of the following individuals made campaign contributions exceeding \$500 in total, in cash or in kind, to the campaign for public office of any Town officer or employee, to any individual campaign committee, or to any political party committee designated to accept donations on such Town official's or employee's behalf as a candidate for public office?

- | | | | |
|----|------------------------------|--------------------------|-------------------------------------|
| | | <u>Yes</u> | <u>No</u> |
| 1. | Owner | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 2. | Applicant | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 3. | Agent for owner or applicant | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 4. | Attorney | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 5. | Other | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

If the answer to Question 5 is yes, Town Code Chapter 23 requires that the information be provided below:

<u>Name/Address</u>	<u>Amount/Date</u>	<u>Name of Campaign Committee</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____

6. During the preceding 24 months before the filing of this application, have any of the following individuals employed any Town officer or employee or a relative thereof involving compensation in an amount of \$500 or more? Said compensation may be directly made, or indirectly made through a corporation or business interest held by any Town officer or employee or their relative.

- | | | | |
|----|------------------------------|-------------------------------------|-------------------------------------|
| | | <u>Yes</u> | <u>No</u> |
| 1. | Owner | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> |
| 2. | Applicant | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 3. | Agent for owner or applicant | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 4. | Attorney | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 5. | Other | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

If the answer to Question 6 is yes, Town Code Chapter 23 requires that the information be provided below:

<u>Name</u>	<u>Position</u> (Owner, Agent, Attorney, Other)	<u>Corporation</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____

READ AND CHECK BOX



False statements made herein are punishable as a class "A" Misdemeanor pursuant to Section 210.45 of the New York State Penal Law.

A. For the purposes of this disclosure, an official of the State of New York or an elected or appointed official or employee of the Town of Southampton shall be deemed to have an interest in the owner and/or applicant when that official or employee, their spouse, brothers, sisters, parents, children, grandchildren or the spouse of any of them is:

- a. the owner or applicant; or
- b. an officer, director, partner, or employee of the applicant or owner; or
- c. Legally or beneficially owns or controls stock of a corporate applicant or owner, or is a member of a partnership or association applicant or owner; or
- d. Is a party to an agreement with the applicant or owner, express or implied, whereby said official or employee may receive any payment or other benefit, whether or not for services rendered, dependent or contingent upon the favorable approval of such application. Ownership of less than five percent of the stock of a corporation whose stock is listed on the American Stock Exchange (AMEX), New York Stock Exchange (NYSE), or the National Association of Securities Dealers (NASDAQ) shall not constitute an interest for the purposes of this disclosure.

Submitted by (please print):

Steven Klein

STEVEN KLEIN

TOWN OF SOUTHAMPTON

DEPARTMENT OF LAND MANAGEMENT
116 HAMPTON ROAD
SOUTHAMPTON, NY 11968

PHONE: (631) 702-1800
WWW.SOUTHAMPTONTOWNNY.GOV



JANICE SCHERER
TOWN PLANNING AND
DEVELOPMENT ADMINISTRATOR

MARIA Z. MOORE
TOWN SUPERVISOR

PLEASE NOTE: If ownership is held jointly or in partnership, each owner and/or partner must sign a separate owner's endorsement. If the owner or owners are making the application, this endorsement is not required.

OWNER'S ENDORSEMENT

I, Gabrielle L. Morris, hereby affirm:

I am: (check one)

- 1) the sole owner in fee
- 2) a part owner in fee
- 3) an officer of the corporation which is the owner in fee of the premises described in the foregoing application.
- 4) designated party authorized to act pursuant to a trust or other legal document.
- 5) member/owner(s) of Limited Liability Corporation (LLC).
- 6) managing member of the LLC contract vendee

(if you checked #3, #4 or #5, please provide proof of legate (i.e.: Corporate Resolution; Surrogate Letter; Executor of the Will; Certified Letter of Testamentary; Letter of Administration; Attorney-Opinion Letter; Letter of Probate; Power of Attorney, etc.)

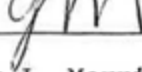
I reside at 1260 Stelton Road
Mailing Address
Piscataway, NJ 08854
Hamlet/Post Office/Village State Zip Code

I have authorized O'Shea, Marcincuk & Bruyn, LLP
to make the foregoing application (name and/or #) to Southampton Town for approval as described herein.

READ AND CHECK BOX

I understand that false statements made herein are punishable as a Class "A" Misdemeanor pursuant to Section 210.45 of the New York State Penal Law.

North Edge Stables II, LLC

By: 
Signature
Gabrielle L. Morris, Managing Member
PRINT NAME

(If owner is a corporation, please indicate name of corporation and the title of the corporate officer whose signature appears above)

5. During the 24 months before the filing of this application, have any of the following individuals made campaign contributions exceeding \$500 in total, in cash or in kind, to the campaign for public office of any Town officer or employee, to any individual campaign committee, or to any political party committee designated to accept donations on such Town official's or employee's behalf as a candidate for public office?

	<u>Yes</u>	<u>No</u>
1. Owner	<input type="checkbox"/>	<input type="checkbox"/>
2. Applicant	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Agent for owner or applicant	<input type="checkbox"/>	<input type="checkbox"/>
4. Attorney	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Other	<input type="checkbox"/>	<input type="checkbox"/>

If the answer to Question 5 is yes, Town Code Chapter 23 requires that the information be provided below:

<u>Name/Address</u>	<u>Amount/Date</u>	<u>Name of Campaign Committee</u>
<u>See Addendum attached</u>	_____	_____
_____	_____	_____
_____	_____	_____

6. During the preceding 24 months before the filing of this application, have any of the following individuals employed any Town officer or employee or a relative thereof involving compensation in an amount of \$500 or more? Said compensation may be directly made, or indirectly made through a corporation or business interest held by any Town officer or employee or their relative.

	<u>Yes</u>	<u>No</u>
1. Owner	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2. Applicant	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. Agent for owner or applicant	<input type="checkbox"/>	<input type="checkbox"/>
4. Attorney	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. Other	<input type="checkbox"/>	<input type="checkbox"/>

If the answer to Question 6 is yes, Town Code Chapter 23 requires that the information be provided below:

<u>Name</u>	<u>Position</u> (Owner, Agent, Attorney, Other)	<u>Corporation</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____

READ AND CHECK BOX

False statements made herein are punishable as a class "A" Misdemeanor pursuant to Section 210.45 of the New York State Penal Law.

A. For the purposes of this disclosure, an official of the State of New York or an elected or appointed official or employee of the Town of Southampton shall be deemed to have an interest in the owner and/or applicant when that official or employee, their spouse, brothers, sisters, parents, children, grandchildren or the spouse of any of them is:

- a. the owner or applicant; or
- b. an officer, director, partner, or employee of the applicant or owner; or
- c. Legally or beneficially owns or controls stock of a corporate applicant or owner, or is a member of a partnership or association applicant or owner; or
- d. Is a party to an agreement with the applicant or owner, express or implied, whereby said official or employee may receive any payment or other benefit, whether or not for services rendered, dependent or contingent upon the favorable approval of such application. Ownership of less than five percent of the stock of a corporation whose stock is listed on the American Stock Exchange (AMEX), New York Stock Exchange (NYSE), or the National Association of Securities Dealers (NASDAQ) shall not constitute an interest for the purposes of this disclosure.

North Edge Stables II, LLC

Submitted by (please print): _____ By: gm
 Gabrielle Morris, Managing Member

Addendum
to
Town of Southampton Open Government Disclosure Form

5. O'Shea, Marcincuk & Bruyn, LLP campaign contributions during the preceding 24 months:

8/29/23	\$100.00	Friends of Scott Horowitz
9/29/23	\$100.00	Committee to re-elect Gary Weber
10/09/23	\$150.00	Grossman for Justice

TOWN OF SOUTHAMPTON

DEPARTMENT OF LAND MANAGEMENT
116 Hampton Road
Southampton, NY 11968
631-283-6000
www.southamptontownny.gov



JANICE SCHERER
TOWN PLANNING AND
DEVELOPMENT ADMINISTRATOR

MARIA Z. MOORE
TOWN SUPERVISOR

Open Government Disclosure Form

(Zoning Board of Appeals, Planning Board, Conservation Board, all other Land Management Review)

STATE OF NEW YORK)

ss:

COUNTY OF SUFFOLK)

Wayne D. Bruyn

, being duly sworn, deposes and says:

Print Name

I am the owner and/or applicant for a project that is the subject of a pending application before the Southampton (Check one) Zoning Board of Appeals, Planning Board, Conservation Board all other Land Management Review. I make this affidavit under penalty and swear to the truth herein. I am aware that this affidavit is required by General Municipal Law §809 and Southampton Town Code Chapter 23 and that I shall be guilty of a misdemeanor should I knowingly or intentionally fail to make all disclosures herein. I am also aware that I may be subject to the penalties in Southampton Town Code §23-14 should I knowingly or intentionally fail to make all disclosures herein.

- The application name is: North Edge Stables
- I reside at 250 North Sea Road, Southampton, NY 11968
- The officers of the applicant corporation/owner corporation are as follows:
 Pres. N/A Sec. _____
 Vice Pres. _____ Treas. _____
- Do any of the following individuals have an interest in the owner or applicant?
 (as defined on page ii, Section "A")

	<u>Yes</u>	<u>No</u>
A. Any official of New York State	<input type="checkbox"/>	<input checked="" type="checkbox"/>
B. Any elected or appointed official or employee of Southampton Town or Suffolk County	<input type="checkbox"/>	<input checked="" type="checkbox"/>

If the answer to Question 4 is YES, General Municipal Law §809 and Town Code Chapter 23 require that you disclose the name and the nature and event of the interest of said individual(s) in the owner or applicant.

Name	Residence	Nature of Interest

5. During the 24 months before the filing of this application, have any of the following individuals made campaign contributions exceeding \$500 in total, in cash or in kind, to the campaign for public office of any Town officer or employee, to any individual campaign committee, or to any political party committee designated to accept donations on such Town official's or employee's behalf as a candidate for public office?

	<u>Yes</u>	<u>No</u>
1. Owner	<input type="checkbox"/>	<input type="checkbox"/>
2. Applicant	<input type="checkbox"/>	<input type="checkbox"/>
3. Agent for owner or applicant	<input type="checkbox"/>	<input type="checkbox"/>
4. Attorney	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Other	<input type="checkbox"/>	<input type="checkbox"/>

If the answer to Question 5 is yes, Town Code Chapter 23 requires that the information be provided below:

<u>Name/Address</u>	<u>Amount/Date</u>	<u>Name of Campaign Committee</u>
See Addendum attached		
_____	_____	_____
_____	_____	_____
_____	_____	_____

6. During the preceding 24 months before the filing of this application, have any of the following individuals employed any Town officer or employee or a relative thereof involving compensation in an amount of \$500 or more? Said compensation may be directly made, or indirectly made through a corporation or business interest held by any Town officer or employee or their relative.

	<u>Yes</u>	<u>No</u>
1. Owner	<input type="checkbox"/>	<input type="checkbox"/>
2. Applicant	<input type="checkbox"/>	<input type="checkbox"/>
3. Agent for owner or applicant	<input type="checkbox"/>	<input type="checkbox"/>
4. Attorney	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5. Other	<input type="checkbox"/>	<input type="checkbox"/>

If the answer to Question 6 is yes, Town Code Chapter 23 requires that the information be provided below:

<u>Name</u>	<u>Position</u> (Owner, Agent, Attorney, Other)	<u>Corporation</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____

READ AND CHECK BOX

False statements made herein are punishable as a class "A" Misdemeanor pursuant to Section 210.45 of the New York State Penal Law.

A. For the purposes of this disclosure, an official of the State of New York or an elected or appointed official or employee of the Town of Southampton shall be deemed to have an interest in the owner and/or applicant when that official or employee, their spouse, brothers, sisters, parents, children, grandchildren or the spouse of any of them is:

- a. the owner or applicant; or
- b. an officer, director, partner, or employee of the applicant or owner; or
- c. Legally or beneficially owns or controls stock of a corporate applicant or owner, or is a member of a partnership or association applicant or owner; or
- d. Is a party to an agreement with the applicant or owner, express or implied, whereby said official or employee may receive any payment or other benefit, whether or not for services rendered, dependent or contingent upon the favorable approval of such application. Ownership of less than five percent of the stock of a corporation whose stock is listed on the American Stock Exchange (AMEX), New York Stock Exchange (NYSE), or the National Association of Securities Dealers (NASDAQ) shall not constitute an interest for the purposes of this disclosure. O'Shea, Marcincuk & Bruyn, LLP

Submitted by (please print): By: Wayne D. Bruyn
 Wayne D. Bruyn

Addendum
to
Town of Southampton Open Government Disclosure Form

5. O'Shea, Marcincuk & Bruyn, LLP campaign contributions during the preceding 24 months:

8/29/23	\$100.00	Friends of Scott Horowitz
9/29/23	\$100.00	Committee to re-elect Gary Weber
10/09/23	\$150.00	Grossman for Justice

Planning Board of the Town of Southampton

In the Matter of the Application of

NORTH EDGE STABLES II, LLC

for SPECIAL EXCEPTION PERMISSION for a

Horse Farm and Horse Stabling Facility with Indoor

Riding Arena and Housing for Agricultural Labor

on property situate at 819 Lumber Lane,

Bridgehampton, New York,

SCTM No. 0900-051.00-02.00-004.008

TO THE PLANNING BOARD OF THE TOWN OF SOUTHAMPTON:

NORTH EDGE STABLES II, LLC, by their attorneys, O’Shea, Marcincuk & Bruyn, LLP, hereby requests Special Exception permission pursuant to Sections 330-10D(4), 330-10F(5), 330-122, 330-162.1 and 330-135 of the Zoning Law of the Town of Southampton to permit the construction of a 19,152 sq. ft. horse stable with 26 stalls, a 21,000 sq. ft. indoor riding arena, 14,480 sq.ft. garage and three, 2,272 sq.ft., one-story buildings each with two-units with two bedrooms each, for use as a horse farm, horse stabling facility and indoor riding arena with associated housing for agricultural labor on a 29.976 acre parcel owned by Steven Klein, located on the southeasterly corner of Scuttlehole Road and Lumber Lane, in the hamlet of Bridgehampton, Town of Southampton, Suffolk County, New York, and designated as Suffolk County Tax Map No. 0900-051.00-02.00-004.008.

GENERAL STANDARDS

In accordance with the provisions of §330-122 of the Zoning Law, the proposed horse stable, indoor riding ring and associated housing for agricultural labor housing complies with the general standards as follows:

A. Such uses will be in harmony with and promote the general purposes and intent of this chapter as stated in §330-3. The proposed horse farm, horse stabling facility, indoor riding arena and groom’s quarters use will be in harmony with and promote the general purposes and intent of the §330-3, specifically objectives (A), (B) and (C) in that the property was recommended for low density residential use and agricultural uses in the Town’s Future Land Use Plan of 1970 (see Future Land Use Map M-1). The property is encumbered with a Purchase of Development Rights Agreement with the Town of Southampton, dated July 31, 2001, recorded with the Suffolk County Clerk in Liber

12227, page 814 (hereinafter the “Development Rights Easement” or “Easement”). The Town’s Development Rights Easement acquired the residential development rights and preserved the property exclusively for agricultural production under §301 of the New York State Agriculture and Markets Law, which permits the raising, breeding and training of horses and agricultural labor housing. The proposed horse farm and horse stabling facility with housing for agricultural labor are agricultural uses consistent with the Town’s long-standing interpretations of the Development Rights Easement and application of applicable State, County and Town regulations (see also our letter, dated September 10, 2024).

B. The plot area is sufficient, appropriate and adequate for the use and the reasonably anticipated operation and expansion thereof. The horse farm use encompasses 29.976 acres and is designed pursuant to the Town’s horse farm standards with a lower “horse density” than permitted under the code. The site is particularly suitable for the intended use, as it is preserved for agricultural uses pursuant to the Town’s Development Rights Easement and is located in the Agricultural Overlay District in the Country Residence, CR-80 zoning district. The facility is designed and will be used for the boarding, breeding, raising, training or stabling of 26 horses where 41 horses are permitted under the code (see site plan and calculations below). The subject lot has sufficient area to accommodate the horse farm and any reasonable expansion thereof. The plot area is sufficient, appropriate and adequate for use and reasonable operation thereof, as the proposed coverage by the buildings is only 5.3% and sufficient parking and maneuvering lanes are provided. The development of the horse farm and the layout, size and design of the associated buildings, structures, paddock areas and uses are consistent with other horse farms approved by the Planning Board (see Horse Farm Analysis).

C. The proposed use will not prevent the orderly and reasonable use of adjacent properties, particularly where they are in a different district. The subject premises and all of the surrounding properties are located within the same zoning district: Country Residence, CR-80 and the Agricultural Overlay District. The layout and design of the horse farm buildings, structures, paddock areas and uses will not prevent the orderly and reasonable use of adjacent properties. The property is currently used as a paddock area for the grazing and riding of horses that are stabled on Mr. Klein’s property located to the east of the Channing Daughters Winery property that abuts the subject premises on the east. The Channing Daughters Winery property is also preserved for agricultural purposes and contains a vineyard and agricultural winery that was granted special exception permission by the Planning Board. Mr. Klein has a conditional easement agreement with the Channing Daughters Winery to cross the vineyard to access the paddock on the subject premises. This easement terminates upon the conveyance of the Klein properties to a third-party. The aerial photographs, tax maps and key map on the site plan depicts the surrounding lots, ownership and uses. The property to the southeast is part of the Channing Daughters Winery vineyard and is also preserved for agricultural purposes. The properties to the south consist of four residential improved lots that were part of the Taterfields subdivision. A 25’ wide conditional trail easement runs along the southerly property line between the residential lots and the bulk of the premises. The originally Taterfields’ developer imposed a condition on the sale of the premises to

Steven Klein that no structures (except fences/paddocks) be placed within 500' feet of the southerly common line between the lots and the premises. The layout and design of the horse farm honor this agreement and the area within 500' of the southerly property line is used as open field or paddock. On the opposite side of Lumber Lane, there are two residentially improved lots with open preserved agricultural lands to the rear. The next property to the north is the M4 Lumber property that will maintain a 7.45 acre agricultural reserve along the southerly portion of the property and Lumber Lane with 4 residential lots to the west. The next parcel to the north is a 9.3 acre Town preserved agricultural parcel that contains paddocks, vehicles and structures related to the Amaryllis Farm Equine Rescue operation. The properties to north are part of a 4-lot residential subdivision with two 2+-acre lots fronting on Lumber Lane and two 2+-acre flag lots to the west. The subdivision provides a 10.9 acre agricultural reserve running 300' along Lumber Lane and approximately 1,000' along Scuttlehole Road. This agricultural reserve area appears to be open and fallow and is surrounded by fences and hedges. On the north side of Scuttlehole Road opposite the premises to northwest is a 10.1 acre Town/ County preserved agricultural parcel that is in row crops. Then opposite the premises are three residentially improved lots; one 2.2 acres, one 1.0 acre and one less than one acre. To the northeast of the premises is one vacant 3.5 acre wooded building lot, then Casey Lane and 16.2 acres agricultural reserve that contains the Rose Hill horse farm. As shown on the site plan, the proposed buildings and structures are laid out in the center of the premises approximately 400' or more from Scuttlehole Road to maintain an agricultural open space corridor along Scuttlehole Road. Similarly, buildings and structures are laid out approximately 150' or more from Lumber Lane. These areas will be used as open paddocks and pasture area.

D. The site is particularly suitable for the location of such use in the town. As noted above the property is located within the Agricultural Overlay District and adjoins other preserved farmland to the east and southeast, and other horse farm operations within 500' of the premises.

E. The characteristics of the proposed use are not such that its proposed location would be unsuitably near a church, school, theater, recreational area or other place of public assembly. There are no churches, schools, theaters, recreational areas or other places of public assembly within close proximity of the site.

F. The proposed use, particularly in the case of a nonnuisance industry, conforms to this chapter definition of the special exception use where such definition exists or with the generally accepted definition of such use where it does not exist in this chapter. The proposed horse farm and horse stabling facility and agricultural labor housing conform to the definition found in §330-5 in that the facility is designed and will be used for the boarding, breeding, raising, training and/or stabling of 26 horses as a private agricultural enterprise.

G. Access facilities are adequate for the estimated traffic from public streets and sidewalks, so as to assure the public safety and avoid traffic congestion; and further, that vehicular entrances and exits shall be clearly visible from the street and not be within seventy-five (75) feet of the intersection of street lines at a street intersection, except under unusual circumstances. Access to the horse farm will be via one new curb cut proposed onto Lumber Lane approximately 820' south of Scuttlehole Road. This access point is clearly visible and not within close proximity to any street intersection. The access point will be opposite the 9.3-acre Town preserved agricultural parcel that contains the Amaryllis Farm Equine Rescue operation. Access for all vehicles including service vehicles and trucks will be directly off of a driveway at this curb cut. Access for employees, horse owners and visitors will also be from this driveway. The proposed horse farm use is not considered a major traffic generator as traffic in-and-out of the site will be limited to the owners of the horses, employees, related vehicles and sporadic deliveries of hay and bedding material.

H. All proposed curb cuts have been approved by the street or highway agency which has jurisdiction. A new curb cut is proposed onto Lumber Lane approximately 820' south of Scuttlehole Road opposite the Town preserved agricultural parcel that contains paddocks, vehicles and structures related to the Amaryllis Farm Equine Rescue operation.

I. There are off-street parking and truck loading spaces at least in the number required by the provisions of §§330-92 through 330-101, but in any case an adequate number for the anticipated number of occupants, both employees and patrons or visitors; and, further, that the layout of the spaces and driveways is convenient and conducive to safe operation. As described below and as shown on the proposed site plan adequate off-street parking spaces in accordance with the code requirements and the anticipated demands of the facility have been provided. Access for services vehicles (i.e. trucks, etc.), employees, horse owners and visitors will be via the driveway onto Lumber Lane.

Parking Calculations:

Spaces Required:

Proposed Staff Housing: 12 Beds X (1 Space/Bed) = 12 Spaces

Total Spaces Required: = 12 Spaces

Spaces Provided:

Proposed Standard Spaces = 25 Spaces

Proposed Handicap Space = 1 Space

Total Spaces Provided = 26 Spaces

Spaces Required:

Proposed Horse Barn: 26 Stalls X (1 Space/Stall) = 26 Spaces

Total Spaces Required: = 26 Spaces

Spaces Provided:

Proposed Standard Spaces = 26 Spaces

Proposed Handicap Space = 1 Space

Total Spaces Provided = 27 Spaces

Spaces Required:

Proposed Garage: 14,400 G.F.A. (1 Per 1,000 S.F.) = 14.4 Spaces

Total Spaces Required: = 15 Spaces

Spaces Provided:

Proposed Standard Spaces = 5 Spaces

Proposed Interior Spaces = 10 Spaces

Total Spaces Provided = 15 Spaces

J. Adequate buffer yards and screening are provided where necessary to protect adjacent properties and land uses. As noted above, the layout and design of the horse farm will provide substantial separation from nearby residences. As shown on the proposed site plan the proposed layout and design of the horse farm is intended to provide substantial separation from nearby residences, which are located to the south of the premises or to the west of Lumber Lane or north of Scuttlehole Road. The buildings and activities are planned for the center of the premises leaving open paddock/pasture of 400' along Scuttlehole Road; open paddock/pasture of 500' from the southerly property line (which is encumbered with a future trail easement and the closest residences), and 100+ feet along Lumber Lane. The stable, at its closest point to a property line, is setback 200' from the easterly property line, which is open agricultural land in production as a vineyard and farm winery (Channing Daughters Winery). The indoor riding arena, at its closest point to a property line, is setback 150' from Lumber Lane. The garage, at its closest point to a property line, is more than 520' from the southerly property line. The three agricultural labor housing buildings, at their closest point to a property line, are approximately 400' from Scuttehole Road. As noted, the areas between these buildings and the property lines are open pasture or paddock areas. Hedges and other trees and plantings are proposed to surround the north and westerly perimeter of the building areas to provide screening from the streets. The nearest stable is setback 200' from the easterly property line and the indoor riding arena is setback 150' from Lumber Lane. The garage is more than 520' from the southerly property line and the nearest agricultural labor housing building is approximately 400' from Scuttehole Road. The areas between these buildings are open pasture or paddock areas. Hedges are proposed to surround the north and westerly perimeter of the building areas to provide screening from the streets.

K. Adequate provisions will be made for the collection and disposal of stormwater runoff from the site and of sanitary sewage, refuse or other waste, whether liquid, solid, gaseous or of other character. All stormwater runoff generated from the impervious surfaces associated with the proposed facility will be handled with drainage facilities as shown on the proposed site plan and will not adversely impact the public streets or adjacent roads. The method of sanitary waste disposal is reviewed by the Suffolk County Department of Health Services and their approval will be required prior to the issuance of a building permit. Refuse will be handled by a private carting company and manure will be collected in a centrally located manure pit and transferred off-site as needed.

L. No outdoor sales lot, rental equipment storage or display area will be permitted in the required front yard area of any business district, except in the HB District such uses may be permitted in the required front yard, provided they are set back fifty (50) feet front property lines. The proposed horse farm will not result in any outdoor sales lot, rental equipment storage or display area in the required front yard.

M. The proposed use recognizes and provides for the further specific conditions and safeguards required for the particular uses in this Article. See the following sections.

SPECIFIC CONDITIONS AND SAFEGUARDS §330-162.1

In accordance with the provisions of §330-162.1 of the Zoning Law, the proposed horse farm and horse stabling facility use comply with the special conditions as follows:

A. The minimum lot size shall be 10 acres, except where the Planning Board determines that the general standards of §330-122 and the following special conditions and safeguards can be met using lesser acreage. In considering sites of less than 10 acres, the Planning Board shall also find that the site is an existing pastoral or farmland setting that will be preserved in perpetuity or that there are less than 10 horses for private use. The subject site contains 29.976 acres. The property substantially exceeds the 10-acre minimum site size.

B. There shall be a minimum of 30,000 square feet of open land area for each horse kept, raised or stabled on parcels up to 15 acres, and for any parcel over 15 acres, there shall be a minimum of 20,000 square feet of open area for each horse kept on the portion of the land exceeding 15 acres. Such open land area shall be exclusive of any area occupied by buildings and/or structures. As described below and as per the "Horse Density Calculation noted on the site plan, the property would permit a total of 41 horses. The applicant is only seeking permission to keep 26 horses on the property.

Horse Density Calculations:

Total Lot Area = 29.976 Acres (1,305,761 S.F.)

Area of Drives, Walks

& Structures = 5.927 Acres (260,135 S.F.)

Area Available For Horses = 24.004 Acres (1,045,626 S.F.)

Allowable Horses:

15.000 Acres X 43,560 S.F./Acres = 653,400 S.F.

653,400 S.F. / 30,000 S.F./Horse = 21.8 Horses

1,045,626 S.F. - 653,400 S.F. = 392,226 S.F.

392,226 S.F. / 20,000 S.F./Horse = 19.6 Horses

Allowable Horses = 41 Horses

C. All horses shall be kept within an area, which shall be completely enclosed by a fence sufficient in height and strength to prevent their escape. Notwithstanding the provisions of § 330-109 of this chapter, such fencing may, at the discretion of the Planning Board, be a maximum of six feet in height within the required front yard. The fencing shall be open in nature, such as a wood board or split rail fences. Chain link and wooden stockade-type fences shall not be permitted. As depicted on the site plan, all horses will be kept within an area completely enclosed by fences sufficient to prevent their escape. The proposed fencing will not exceed six feet in height. Fencing material will be either natural or stained wood.

D. No accumulation of manure or any other material or substance which causes any noxious or offensive odors or dust shall be allowed within 50 feet of any side or rear lot line and 100 feet of any front lot line. The disposal of animal wastes shall be provided for in such a manner as to prevent any nuisance or sanitary problem. The Planning Board may impose greater setbacks or requirements where the site is located in close proximity to wetlands or other environmentally sensitive features. As shown on the site plan, no accumulation of manure, etc., will be permitted within fifty feet of the side (north) lot line and more than 100 feet from the front (west) lot line. Manure will be disposed of on a weekly basis to an acceptable facility or other farm sites in accordance with the code.

E. The storage of grain shall be in such manner so as to prevent the proliferation of rodents and other vermin. Any grain to be stored on-site will be in enclosed containers to prevent the proliferation of rodents.

F. An indoor riding training track, exercise ring and/or horse stabling facility may be permitted as an accessory structure, provided that the subject horse farm, horse stabling facilities or horseback riding academy is located on a parcel of 10 acres or greater and shall be set back a minimum of 150 feet from any street line and a minimum of 200 feet from any other property line. The Planning Board may allow such accessory structures to meet the minimum setbacks of the applicable one, subject to the requirements of the following Subsection G. The overall size of the track or ring structure shall be limited to 15,000 square feet for parcels less than 25 acres, and only one such structure shall be permitted for each 10 acres of lot area. On sites of more than 25 acres, the Planning Board may consider a structure larger than 15,000 square feet, which may include indoor stalls as part of the structure. In no case shall any such structure be larger than 24,000 square feet in size. The overall site contains 29.976 acres, therefore, an indoor riding arena of up to 24,000 sq. ft. is permitted. The proposed indoor riding arena will be 21,000 sq. ft. The horse stable will be 19,152 sq. ft. Outdoor sand and grass exercising rings are proposed in the areas south and east of the proposed stable, as well as a horse-walker sand ring next to the north side of the stable.

G. In consideration of the fact that such horse farm, horse stabling facility and/or horseback riding academy will be primarily located in residentially zoned areas, the architectural style of buildings and structures shall be consistent with other agricultural buildings and as compatible as possible with the surrounding

neighborhood, and the buildings shall be of a style and construction satisfactory to the Planning Board. Screening shall be required where it is determined to be necessary to minimize any adverse visual effects on neighboring properties. In siting larger structures, such as an indoor training track or exercise ring, the Planning Board shall consider the topography of the subject property and adjacent sites to take advantage of any natural screening which may be afforded by the land itself and/or by existing vegetated areas. Notwithstanding any provisions to the contrary, the Planning Board may allow the use of structures that existed prior to the effective date of this section, provided that potential impacts upon surrounding residences are minimized to the maximum extent practical. As shown on the proposed site plans and architectural plans submitted with the application, the proposed buildings are designed to be in harmony with the residential and agricultural character of the immediate area.

H. All necessary parking areas shall be located a minimum of 50 feet from any side or rear lot line and 100 feet from any front lot line and shall be screened from view from surrounding properties. The central car parking area will be surrounded by the proposed buildings and will be at least 250' from Lumber Lane. Hedges, trees and plantings will screen the parking area from the street (see landscape plan). Parking associated with the three agricultural labor housing buildings will be on a gravel area situated between the buildings and screened from the surrounding streets. The parking area and work access area associated with the garage will be located 150' from Lumber Lane and screened with hedges and plantings

I. The horse farm, horse stabling facility and/or horseback riding academy may be used for the following purposes: the letting of horses for hire to individuals or groups, whether supervised or unsupervised; and/or horseback riding instruction/training, provided that these activities are sufficiently located away from neighboring residences and appropriate off-street parking and access is made available and there are no signs, other than a farm identification sign, on the premises. The Planning Board may further condition or limit the scope of these activities or uses depending on the amount of property available and the potential impact upon neighboring residences. Activities in conjunction with the proposed horse farm will be the raising, breeding, boarding and training of show jumping horses. The individual owners of the horses may undertake horseback riding instruction or training of horses. The letting of horses for hire to individuals or groups is not proposed. Appropriate parking is to be provided, as mentioned above.

J. The holding of horse shows, rodeos or any other spectator events shall be prohibited, except that on parcel of 10 acres or greater, three events per year lasting no longer than an accumulated total of nine days may be held (e.g., one event of nine days; two events, one of six days and one of three days; or three events, each of three days). All spectator events shall be subject to Town Board approval of a suitable parking and traffic circulation plan. No other commercial enterprise, either as a principal or an accessory use, such as a tack shop, shall be permitted. The applicant does not intend to hold horse shows, rodeos and similar spectator events. No other commercial enterprise, as a principal or accessory use (such as a tack shop) is proposed.

K. The Planning Board may require covenants or other similar documents to assure the provisions of this section are adhered to. The applicant is willing to consider such reasonable and necessary covenants or similar documents to ensure that the above conditions are complied with.

SPECIFIC CONDITIONS AND SAFEGUARDS §330-135

In accordance with the provisions of §330-135 of the Zoning Law, the proposed agricultural labor housing complies with the special conditions as follows:

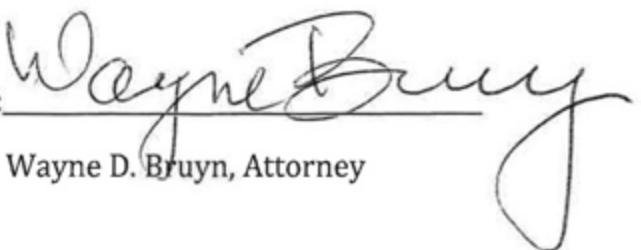
A. Such housing shall meet the minimum standards and all the requirements of the State Sanitary Code, as amended, except that where any other law or ordinance or regulation imposes a greater restriction, such law, ordinance or regulation shall control. The method of sanitary waste disposal will be reviewed by the Suffolk County Department of Health Services and their approval will be required prior to the issuance of a building permit.

B. Dwellings and group quarters shall be located on the site of a farm which employs agricultural laborers. The three 2,272 sq.ft. one-story buildings will each have two-units with two bedrooms each for a total of 6 bedrooms that can accommodate 12 on-site employees and/or his/her family members, including grooms and other personnel required for the care and safety of the horses, property maintenance and security purposes.

C. The placement of dwellings and group quarters shall have access to a paved street or driveway. Access will be over the proposed driveway from Lumber Lane.

D. All such residential buildings and their accessory uses shall be no less than 200 feet from any side or rear lot line and 150 feet from any front lot line. As shown on the site plan, the closest building to be used for housing for agricultural labor will be approximately 165' from Lumber Lane and approximately 400' from Scuttlehole Road.

Respectfully submitted,

By: 
Wayne D. Bruyn, Attorney



NO.	N/F	USE	WATER SUPPLY	NO.	N/F	USE	WATER SUPPLY
1.	CHANNING DAUGHTERS WINERY, LLC	VINEYARD	PUBLIC WATER	9.	PATRICK DARCY WOODLUGH REVOCABLE TRUST	SINGLE-FAMILY RESIDENCE	PUBLIC WATER
2.	GREGORY H. & SOPHA RIAN GUSHEE	SINGLE-FAMILY RESIDENCE	PUBLIC WATER	10.	MARVIN M. SHILLER & ANNE FREDMAN	SINGLE-FAMILY RESIDENCE	PUBLIC WATER
3.	GEORGE & DWANE FELLOWS	SINGLE-FAMILY RESIDENCE	PUBLIC WATER	11.	KENNETH & MARIA FISHEL	FIELD CROPS	N/A
4.	754 L LANE HOLDINGS LLC	SINGLE-FAMILY RESIDENCE	PUBLIC WATER	12.	WESHOPKE FARMLAND LLC	ACQUIRED DEVELOPMENT RIGHTS	N/A
5.	RYAN PRICE REVOCABLE TRUST	SINGLE-FAMILY RESIDENCE	PUBLIC WATER	13.	1883 SHR LLC	SINGLE-FAMILY RESIDENCE	PUBLIC WATER
6.	M4 LUMBER HOLDINGS, LLC	FIELD CROPS	N/A	14.	CHARLES PLATTO & LYNDY MANDELL	SINGLE-FAMILY RESIDENCE	PUBLIC WATER
7.	M4 LUMBER HOLDINGS, LLC	VACANT RESIDENTIAL	N/A	15.	WILLIAM FRAYER	SINGLE-FAMILY RESIDENCE	PUBLIC WATER
8.	AMARYLLUS FARM EQUINE RESCUE, INC.	129 ACQUIRED DEVELOPMENT RIGHTS	N/A	16.	ANDREW KREGAR & OLI TIKKANEN	VACANT RESIDENTIAL	N/A
				17.	CP SYLVANUS LLC	FIELD CROPS	N/A



OWNER:
STEVEN KLEN
888 NERANK AVENUE
JERSEY CITY, NJ

APPLICANT:
NORTH EDGE STABLES II, LLC
1260 STELTON ROAD
FISCATAWAY, NJ 07026

SITE DATA:
SITE ADDRESS: 819 LUMBER LANE
BROOKHAMPTON, NY 11932
SUBDIVISION: LOT 1, SUBDIVISION MAP OF CHANNING DAUGHTERS WINERY, LLC
LOT AREA: 1,305,781 S.F. (29.976 ACRES)
ZONING DISTRICT: CR-80

ZONING NOTES:
THE SUBJECT PARCEL IS LOCATED WITHIN THE COUNTRY RESIDENTIAL DISTRICT (CR-80) AND IS SUBJECT TO THE FOLLOWING DIMENSIONAL REGULATIONS:

MINIMUM LOT SIZE: 80,000 S.F.
LOT COVERAGE MAXIMUM: 10%
LOT WIDTH MINIMUM: 175 FEET
HEIGHT MAXIMUM: 2 STORES/32 FEET
YARD, RESIDENTIAL BUILDING FROM YARD: 80 FEET
SIDE YARD, MINIMUM FOR 1: 30 FEET
SIDE YARD, TOTAL FOR BOTH: 75 FEET
REAR YARD: 100 FEET
YARD, ACCESSORY BUILDINGS MINIMUM DISTANCE FROM STREET: 90 FEET
MINIMUM DISTANCE FROM SIDE & REAR YARD LINES: 30 FEET

PARKING CALCULATIONS:

SPACES REQUIRED:
PROPOSED STAFF HOUSING: 12 BEDS X (1 SPACE/BED) = 12 SPACES
TOTAL SPACES REQUIRED: = 12 SPACES

SPACES PROVIDED:
PROPOSED STANDARD SPACES = 25 SPACES
PROPOSED HANDICAP SPACE = 1 SPACE
TOTAL SPACES PROVIDED = 26 SPACES

SPACES REQUIRED:
PROPOSED HORSE BARN: 28 STALLS X (1 SPACE/STALL) = 28 SPACES
TOTAL SPACES REQUIRED: = 28 SPACES

SPACES PROVIDED:
PROPOSED STANDARD SPACES = 26 SPACES
PROPOSED HANDICAP SPACE = 1 SPACE
TOTAL SPACES PROVIDED = 27 SPACES

SPACES REQUIRED:
PROPOSED GARAGE: 14,400 G.F.A. (1 PER 1,000 S.F.) = 14.4 SPACES
TOTAL SPACES REQUIRED: = 15 SPACES

SPACES PROVIDED:
PROPOSED STANDARD SPACES = 5 SPACES
PROPOSED INTERIOR SPACES = 10 SPACES
TOTAL SPACES PROVIDED = 15 SPACES

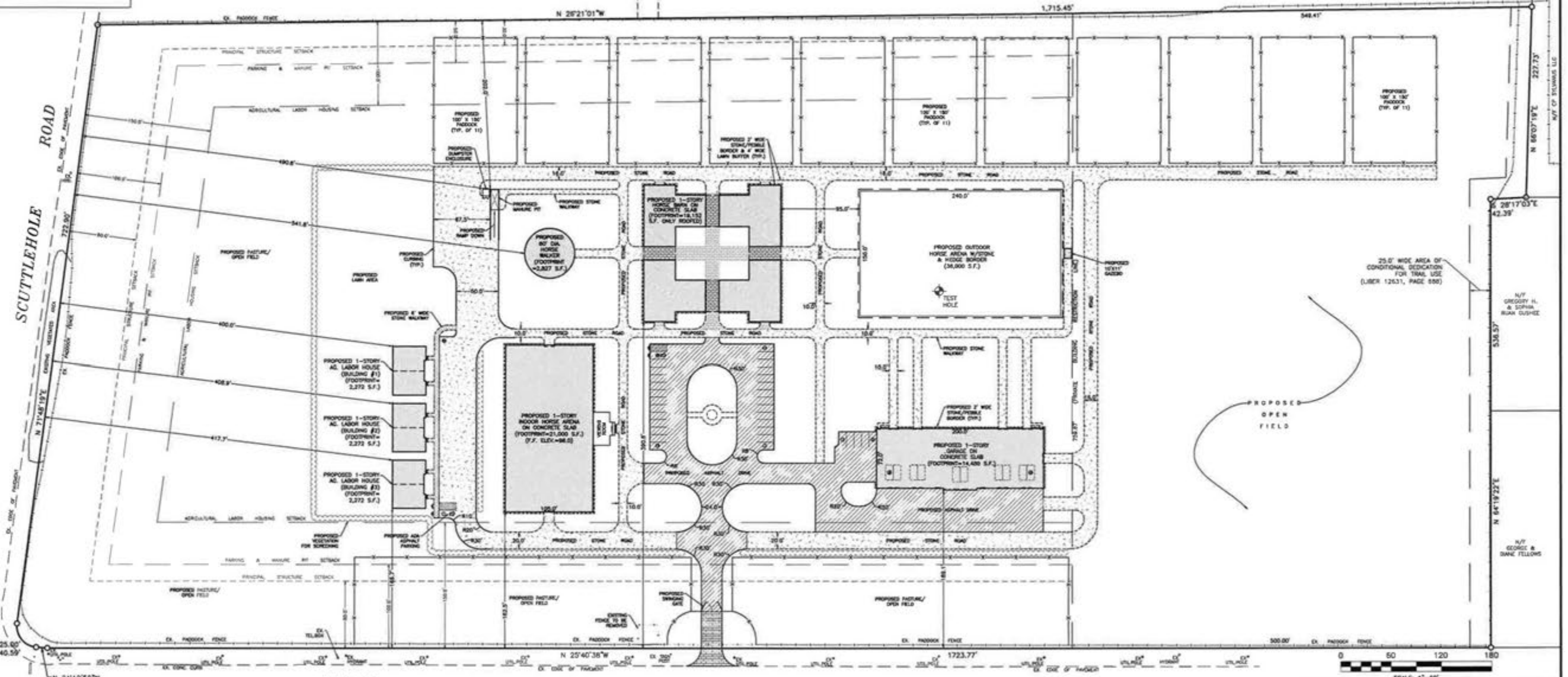
HORSE DENSITY CALCULATIONS:
TOTAL LOT AREA = 29,976 ACRES (1,305,781 S.F.)
AREA OF DRIVES, WALKS & STRUCTURES = 5,927 ACRES (260,135 S.F.)
AREA AVAILABLE FOR HORSES = 24,049 ACRES (1,045,626 S.F.)

ALLOWABLE HORSES:
15,000 ACRES X 43,880 S.F./ACRES = 658,200 S.F.
658,200 S.F. / 30,000 S.F./HORSE = 21.9 HORSES
1,045,626 S.F. - 658,200 S.F. = 387,426 S.F.
387,426 S.F. / 20,000 S.F./HORSE = 19.4 HORSES
ALLOWABLE HORSES = 41 HORSES

COVERAGE CALCULATIONS:
COVERAGE CALCULATIONS BASED ON TOWN OF SOUTHAMPTON ZONING CODE DIMENSIONAL REGULATIONS.

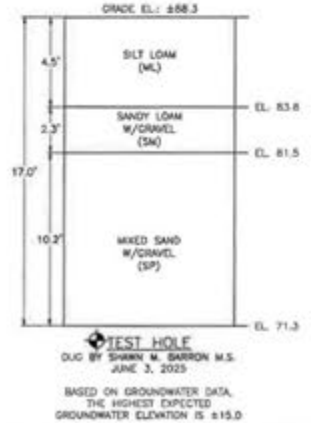
BUILDING LOT COVERAGE:
BUILDING LOT COVERAGE = 10%
MAX. BUILDING LOT COVERAGE = 1,305,781 S.F. X 10% = 130,578 S.F.

PROPOSED GARAGE = 130 S.F.
PROPOSED GROOM'S HOUSING = 6,816 S.F.
PROPOSED HORSE WALKER = 7,854 S.F.
PROPOSED GARAGE = 14,400 S.F.
PROPOSED HORSE BARN = 18,152 S.F.
PROPOSED INDOOR HORSE ARENA = 21,000 S.F.
TOTAL COVERAGE = 68,422 S.F. (5.3%) < 130,578 S.F.



NOTES:

- THE EXISTING SITE FEATURES AND CONDITIONS AS SHOWN ARE BASED UPON THE EXISTING CONDITIONS MAP PREPARED BY THE RAYNER GROUP, P.E. & L.S. PLLC.
- THE PROPOSED SITE FEATURES AS SHOWN ARE BASED UPON THE CONCEPT PLAN PREPARED BY EP DESIGN SERVICES LAST DATED FEBRUARY 29, 2024.
- LOCATION OF EXISTING UNDERGROUND UTILITIES TO BE VERIFIED BY OTHERS.
- THERE ARE NO NEIGHBORING WELLS WITHIN 150 FEET OF THE PROPOSED SANITARY SYSTEM.
- THERE ARE NO GEOTHERMAL WELLS PROPOSED FOR THIS PROJECT.
- THERE ARE NO SURFACE WATERS/WETLANDS LOCATED WITHIN 300 FEET OF PROPERTY.
- THERE ARE NO SURFACE WATERS/WETLANDS LOCATED WITHIN 300 FEET OF PROPERTY.
- THIS PROJECT IS WITHIN THE AQUIFER PROTECTION OVERLAY DISTRICT.
- THERE ARE NO AREAS SUBJECT TO FLOODING ON THE SUBJECT PROPERTY.
- THERE ARE NO CLAMENTS LOCATED ON THE SUBJECT PROPERTY.



DATE	BY	DESCRIPTION	APPROVED
09/19/2025	EJM	PLANNING BOARD COMMENTS DATED 09/11/2025	VAG
07/02/2025	EJM	TOWN SUBMISSION	VAG
03/11/2025	EJM	ATTORNEY COMMENTS	VAG
06/04/2025	KWK	OVERALL SITE LAYOUT	VAG
02/12/2025	KWK	AG. LABOR HOUSING	VAG
09/04/2024	KWK	HORSE DENSITY CALCULATIONS	VAG

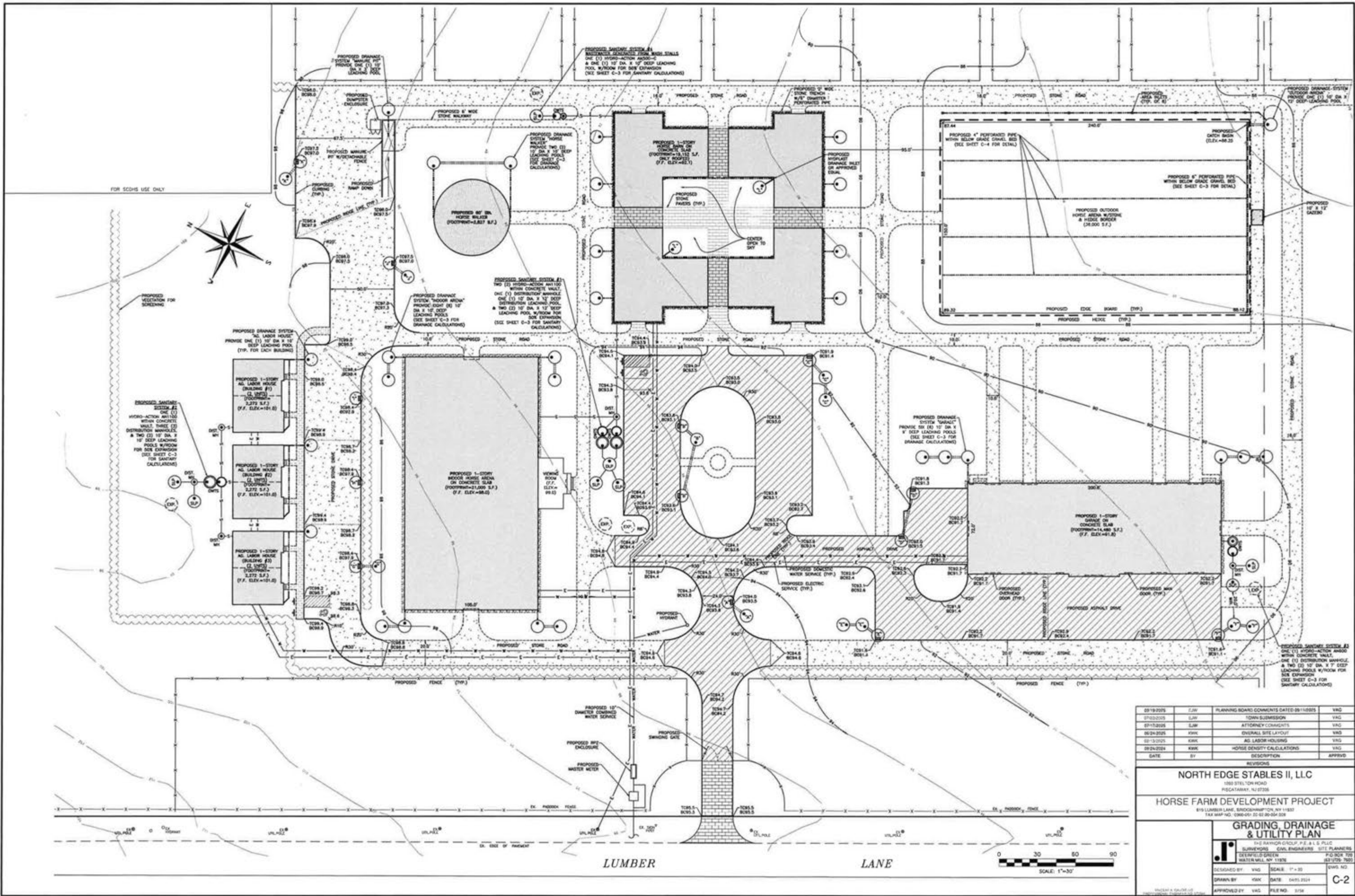
REVISIONS

NORTH EDGE STABLES II, LLC
1260 STELTON ROAD
FISCATAWAY, NJ 07026

HORSE FARM DEVELOPMENT PROJECT
819 LUMBER LANE, BROOKHAMPTON NY 11932
TAX MAP NO. 0906-061-00-01-00-004-008

OVERALL LOT LAYOUT

THE RAYNER GROUP, P.E. & L.S. PLLC
SUPERVISORS - CIVIL ENGINEERS, SITE PLANNERS
DRAWN BY: VAG SCALE: 1"=80' DWG NO. C-1
DESIGNED BY: VAG DATE: 04/23/2024
APPROVED BY: VAG FILE NO: 3758



DATE	BY	DESCRIPTION	APPROVED
09-19-2025	JAV	PLANNING BOARD COMMENTS DATED 09-11-2025	VAC
07-20-2025	JAV	TOWN SUBMISSION	VAC
07-17-2025	JAV	ATTORNEY COMMENTS	VAC
06-24-2025	KMK	OVERALL SITE LAYOUT	VAC
02-13-2025	KMK	AG LABOR HOUSES	VAC
09-24-2024	KMK	HORSE DENSITY CALCULATIONS	VAC

REVISIONS

NORTH EDGE STABLES II, LLC
1000 STELTON ROAD
PISCATAWAY, NJ 07236

HORSE FARM DEVELOPMENT PROJECT
815 LUMBER LANE, BROOKHAMPTON, NY 11937
TAX MAP NO. C98-001 02 02 00-034 028

GRADING, DRAINAGE & UTILITY PLAN

THE RAYBOR GROUP, P.E. & L.S. PLLC
SURVEYORS, CIVIL ENGINEERS, SITE PLANNERS
CATERPILLAR GREEN, P.O. BOX 705
WATERMILL, NY 11978
TEL: (787) 7600

DESIGNED BY	VAC	SCALE	1"=30'	DWS NO.
DRAWN BY	KMK	DATE	04/15/2024	C-2
APPROVED BY	VAC	FILE NO.	5154	

DRAINAGE DESIGN CRITERIA:

- RUNOFF COEFFICIENTS:
 - LANDSCAPE = 0.3
 - ROOF = 1.0
- PROVIDE STORAGE CAPACITY FOR 3" RAINFALL
- PROVIDE STORAGE CAPACITY FOR 3" RAINFALL FOR HORSE WALKER
- 10" DIAMETER DRYWELL CAPACITY = 68.42 C.F./V.F.
- ROOF CONNECTING PIPE TO BE 4" SDR-35 @ 1/8" MIN. UNLESS NOTED OTHERWISE
- CATCH BASIN/DRYWELL INTERCONNECTING PIPE TO BE 10" CRP @ 1.5% MIN. UNLESS NOTED OTHERWISE

DRAINAGE CALCULATIONS:

TRIBUTARY AREA "HORSE WALKER"
 PROPOSED ROOFED AREA = 2,827.0 S.F. X 1.0 X 3" = 1,177.8 C.F.
 USE TWO (2) 10" DIA. X 10' DEEP LEACHING POOLS = 1,368.0 C.F.

TRIBUTARY AREA "BARN"
 PROPOSED ROOFED AREA = 19,152.0 S.F. X 1.0 X 3" = 4,788.0 C.F.
 USE SEVEN (7) 10" DIA. X 10' DEEP LEACHING POOLS = 4,788.4 C.F.

TRIBUTARY AREA "INDOOR ARENA"
 PROPOSED ROOFED AREA = 21,000.0 S.F. X 1.0 X 3" = 5,250.0 C.F.
 USE EIGHT (8) 10" DIA. X 10' DEEP LEACHING POOLS = 5,473.8 C.F.

TRIBUTARY AREA "OUTDOOR ARENA"
 PROPOSED LAWN AREA = 36,000.0 S.F. X 0.75 X 3" = 6,750.0 C.F.
 PROPOSED GRAVEL BED = (150' WIDE X 240' LONG X 0.41' DEEP) X 0.4 (VOID RATE) = 4,000.0 C.F.
 USE ONE (1) 10" DIA. X 12' DEEP LEACHING POOL = 8,211.0 C.F.
 TOTAL = 8,211.0

TRIBUTARY AREA "GARAGE"
 PROPOSED ROOFED AREA = 14,480.0 S.F. X 1.0 X 3" = 3,620.0 C.F.
 USE SIX (6) 10" DIA. X 7' DEEP LEACHING POOLS = 3,684.7 C.F.

TRIBUTARY AREA "AG. LABOR HOUSE"
 PROPOSED ROOFED AREA = 2,272.0 S.F. X 1.0 X 3" = 568.0 C.F.
 USE ONE (1) 10" DIA. X 10' DEEP LEACHING POOL = 684.2 C.F.
 (FOR BUILDINGS #1, #2 & #3)

TRIBUTARY AREA "MANURE PIT"
 PROPOSED PIT AREA = 650.0 S.F. X 1.0 X 3" = 162.5 C.F.
 USE ONE (1) 10" DIA. X 7' DEEP LEACHING POOL = 265.3 C.F.

TRIBUTARY AREA "PAVED AREA-A"
 PROPOSED PAVED AREA = 5,160.0 S.F. X 1.0 X 3" = 1,290.0 C.F.
 USE TWO (2) 10" DIA. X 10' DEEP LEACHING POOLS = 1,368.4 C.F.

TRIBUTARY AREA "PAVED AREA-B"
 PROPOSED PAVED AREA = 8,984.0 S.F. X 1.0 X 3" = 2,016.0 C.F.
 USE THREE (3) 10" DIA. X 10' DEEP LEACHING POOLS = 2,082.8 C.F.

TRIBUTARY AREA "PAVED AREA-C"
 PROPOSED PAVED AREA = 8,232.0 S.F. X 1.0 X 3" = 2,058.0 C.F.
 USE THREE (3) 10" DIA. X 11' DEEP LEACHING POOLS = 2,237.8 C.F.

TRIBUTARY AREA "PAVED AREA-D"
 PROPOSED PAVED AREA = 5,098.0 S.F. X 1.0 X 3" = 1,274.5 C.F.
 USE TWO (2) 10" DIA. X 10' DEEP LEACHING POOLS = 1,368.4 C.F.

TRIBUTARY AREA "PAVED AREA-E"
 PROPOSED PAVED AREA = 6,463.0 S.F. X 1.0 X 3" = 1,615.8 C.F.
 USE THREE (3) 10" DIA. X 8' DEEP LEACHING POOLS = 1,643.1 C.F.

TRIBUTARY AREA "PAVED AREA-F"
 PROPOSED PAVED AREA = 6,984.0 S.F. X 1.0 X 3" = 1,741.5 C.F.
 USE THREE (3) 10" DIA. X 9' DEEP LEACHING POOLS = 1,847.3 C.F.

TRIBUTARY AREA "PAVED AREA-G"
 PROPOSED PAVED AREA = 3,580.0 S.F. X 1.0 X 3" = 895.0 C.F.
 USE TWO (2) 10" DIA. X 7' DEEP LEACHING POOLS = 957.9 C.F.

TRIBUTARY AREA "PAVED AREA-H"
 PROPOSED PAVED AREA = 2,323.0 S.F. X 1.0 X 3" = 580.8 C.F.
 USE ONE (1) 10" DIA. X 10' DEEP LEACHING POOL = 684.2 C.F.

TRIBUTARY AREA "PAVED AREA-I"
 PROPOSED PAVED AREA = 2,270.0 S.F. X 1.0 X 3" = 567.5 C.F.
 USE ONE (1) 10" DIA. X 10' DEEP LEACHING POOL = 684.2 C.F.

TRIBUTARY AREA "PAVED AREA-J"
 PROPOSED PAVED AREA = 5,732.0 S.F. X 1.0 X 3" = 1,433.0 C.F.
 USE TWO (2) 10" DIA. X 11' DEEP LEACHING POOLS = 1,505.2 C.F.

TRIBUTARY AREA "PAVED AREA-K"
 PROPOSED PAVED AREA = 5,350.0 S.F. X 1.0 X 3" = 1,337.5 C.F.
 USE TWO (2) 10" DIA. X 10' DEEP LEACHING POOLS = 1,368.4 C.F.

TRIBUTARY AREA "PAVED AREA-L"
 PROPOSED INDOOR LANDSCAPE = 5,633.0 S.F. X 0.5 X 3" = 704.1 C.F.
 USE TWO (2) 10" DIA. X 6' DEEP LEACHING POOLS = 821.0 C.F.

SANITARY SEWER DESIGN FLOW CALCULATIONS:

1. CALCULATION METHOD (POPULATION DENSITY EQUIVALENT):

THE SUBJECT PROPERTY IS 29.978 ACRES IN SIZE, LOCATED WITHIN A HYDROGEOLOGIC GROUNDWATER MANAGEMENT ZONE V AND WILL BE SERVED BY PUBLIC WATER.

TOTAL LOT AREA = 29.978 ACRES

THE POPULATION DENSITY EQUIVALENT FOR THE SUBJECT PROPERTY MAY BE CALCULATED AS FOLLOWS:

POPULATION DENSITY EQUIVALENT = 29.978 ACRES X 300 GPD/ACRE = 8,993.8 GPD

2. PROPOSED FLOW CALCULATIONS:

SANITARY SYSTEM #1:

STRUCTURE USE	FLOOR AREA (S.F.)	DENSITY LOAD	KITCHEN/GRAY LOAD	HYDRAULIC LOAD
		GPD/S.F.	FLOW (GPD)	FLOW (GPD)
BARN (HORSE FARM)	19,152.0	0.04	766.1	766.1
INDOOR ARENA (HORSE FARM)	21,000.0	0.04	840.0	840.0
TOTAL PROPOSED			1,606.1	1,606.1

SANITARY SYSTEM #3:

STRUCTURE USE	BEDS	DENSITY LOAD	KITCHEN/GRAY LOAD	HYDRAULIC LOAD
		GPD/BED	FLOW (GPD)	FLOW (GPD)
LABOR HOUSES	12.0	75.0	900.0	900.0
TOTAL PROPOSED			900.0	900.0

SANITARY SYSTEM #2:

STRUCTURE USE	FLOOR AREA (S.F.)	DENSITY LOAD	KITCHEN/GRAY LOAD	HYDRAULIC LOAD
		GPD/S.F.	FLOW (GPD)	FLOW (GPD)
GARAGE (GENERAL INDUSTRIAL)	14,480.0	0.04	579.2	579.2
TOTAL PROPOSED			579.2	579.2

SANITARY SYSTEM #4:

STRUCTURE USE	STALLS	DENSITY LOAD	KITCHEN/GRAY LOAD	HYDRAULIC LOAD
		GPD/STALL	FLOW (GPD)	FLOW (GPD)
HORSE WASH	26.0	10.0	260.0	260.0
TOTAL PROPOSED			260.0	260.0
TOTAL OVERALL			3,345.3	3,345.3

4. SIZING OF SEWAGE DISPOSAL SYSTEM:

SANITARY SYSTEM #1:

A. TREATMENT TANK

THE TREATMENT TANK IS REQUIRED TO PROVIDE A MINIMUM VOLUME CAPACITY FOR A ONE (1) DAY DESIGN FLOW COMPUTES AS FOLLOWS:
 1,606.1 GPD X 1 DAY = 1,606.1 GALLONS
 USE TWO (2) HYDRO-ACTION AN1100 = 2,300.0 GALLONS

B. LEACHING POOL

THE MINIMUM QUANTITY AND SIZE OF THE LEACHING POOLS REQUIRED IS BASED ON THE TOTAL DESIGN FLOW AND A WEIGHTED SIDEWALL LEACHING AREA RATE OF 1.5 GALLONS/S.F.
 THEREFORE, 1,606.1 G.P.D. / 1.5 GALLONS/S.F. = 1,070.7 S.F. OF SIDEWALL
 REQUIRED: 1,070.7 S.F. / 31.4 S.F./V.F. OF AN 10" DIA. STRUCTURE = 34.1 V.F.
 PROVIDE THREE (3) 10" DIA. X 12' DEEP LEACHING POOLS = 36.0 V.F.

C. PROPOSED SANITARY SYSTEM

TREATMENT TANKS: TWO (2) HYDRO-ACTION AN1100 = 2,300.0 GALLONS
 LEACHING POOLS: THREE (3) 10" DIA. X 12' DEEP LEACHING POOLS = 36.0 V.F.

SANITARY SYSTEM #2:

A. TREATMENT TANK

THE TREATMENT TANK IS REQUIRED TO PROVIDE A MINIMUM VOLUME CAPACITY FOR A ONE (1) DAY DESIGN FLOW COMPUTES AS FOLLOWS:
 900.0 GPD X 1 DAY = 900.0 GALLONS
 USE ONE (1) HYDRO-ACTION AN100 = 1,100 GALLONS

B. LEACHING POOL

THE MINIMUM QUANTITY AND SIZE OF THE LEACHING POOLS REQUIRED IS BASED ON THE TOTAL DESIGN FLOW AND A WEIGHTED SIDEWALL LEACHING AREA RATE OF 1.5 GALLONS/S.F.
 THEREFORE, 900 G.P.D. / 1.5 GALLONS/S.F. = 600.0 S.F. OF SIDEWALL
 REQUIRED: 600.0 S.F. / 31.4 S.F./V.F. OF AN 10" DIA. STRUCTURE = 19.1 V.F.
 PROVIDE TWO (2) 10" DIA. X 10' DEEP LEACHING POOLS = 20.0 V.F.

C. PROPOSED SANITARY SYSTEM

TREATMENT TANK: ONE (1) HYDRO-ACTION AN100 = 1,100 GALLONS
 LEACHING POOLS: TWO (2) 10" DIA. X 10' DEEP LEACHING POOLS = 20.0 V.F.

SANITARY SYSTEM #3:

A. TREATMENT TANK

THE TREATMENT TANK IS REQUIRED TO PROVIDE A MINIMUM VOLUME CAPACITY FOR A ONE (1) DAY DESIGN FLOW COMPUTES AS FOLLOWS:
 579.2 GPD X 1 DAY = 579.2 GALLONS
 USE ONE (1) HYDRO-ACTION AN600 = 660 GALLONS

B. LEACHING POOL

THE MINIMUM QUANTITY AND SIZE OF THE LEACHING POOLS REQUIRED IS BASED ON THE TOTAL DESIGN FLOW AND A WEIGHTED SIDEWALL LEACHING AREA RATE OF 1.5 GALLONS/S.F.
 THEREFORE, 579.2 G.P.D. / 1.5 GALLONS/S.F. = 386.1 S.F. OF SIDEWALL
 REQUIRED: 386.1 S.F. / 31.4 S.F./V.F. OF AN 10" DIA. STRUCTURE = 12.3 V.F.
 PROVIDE TWO (2) 10" DIA. X 7' DEEP LEACHING POOLS = 14.0 V.F.

C. PROPOSED SANITARY SYSTEM

TREATMENT TANK: ONE (1) HYDRO-ACTION AN600 = 660 GALLONS
 LEACHING POOLS: TWO (2) 10" DIA. X 7' DEEP LEACHING POOLS = 14.0 V.F.

SANITARY SYSTEM #4:

A. TREATMENT TANK

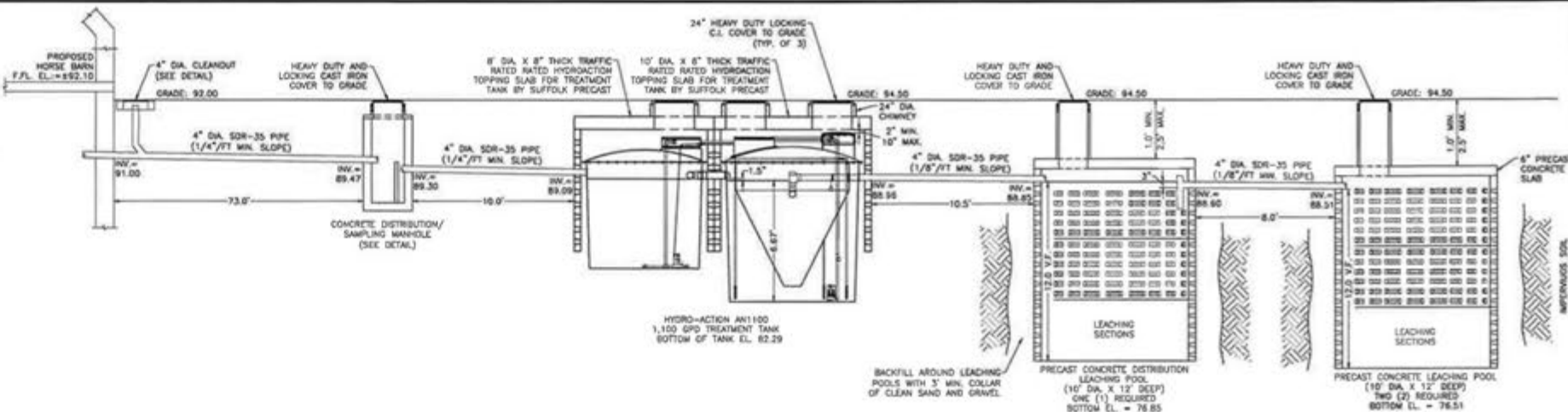
THE TREATMENT TANK IS REQUIRED TO PROVIDE A MINIMUM VOLUME CAPACITY FOR A ONE (1) DAY DESIGN FLOW COMPUTES AS FOLLOWS:
 260.0 GPD X 1 DAY = 260.0 GALLONS
 USE ONE (1) HYDRO-ACTION AN500-C = 500 GALLONS

B. LEACHING POOL

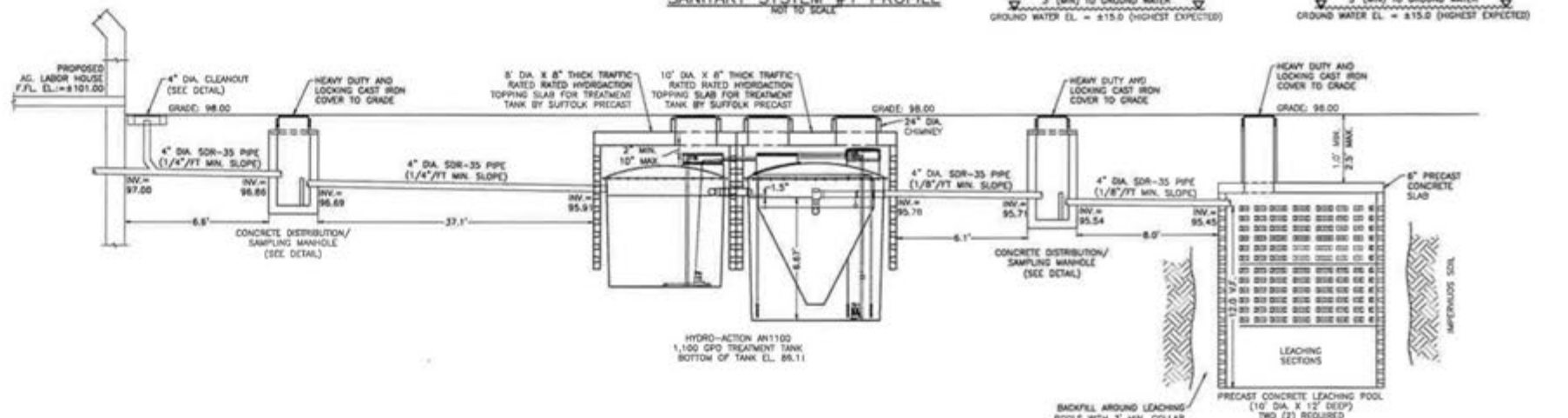
THE MINIMUM QUANTITY AND SIZE OF THE LEACHING POOLS REQUIRED IS BASED ON THE TOTAL DESIGN FLOW AND A WEIGHTED SIDEWALL LEACHING AREA RATE OF 1.5 GALLONS/S.F.
 THEREFORE, 260 G.P.D. / 1.5 GALLONS/S.F. = 173.3 S.F. OF SIDEWALL, USE 300 S.F. (MINIMUM)
 REQUIRED: 300.0 S.F. / 31.4 S.F./V.F. OF AN 10" DIA. STRUCTURE = 9.4 V.F.
 PROVIDE ONE (1) 10" DIA. X 10' DEEP LEACHING POOL = 10.0 V.F.

C. PROPOSED SANITARY SYSTEM

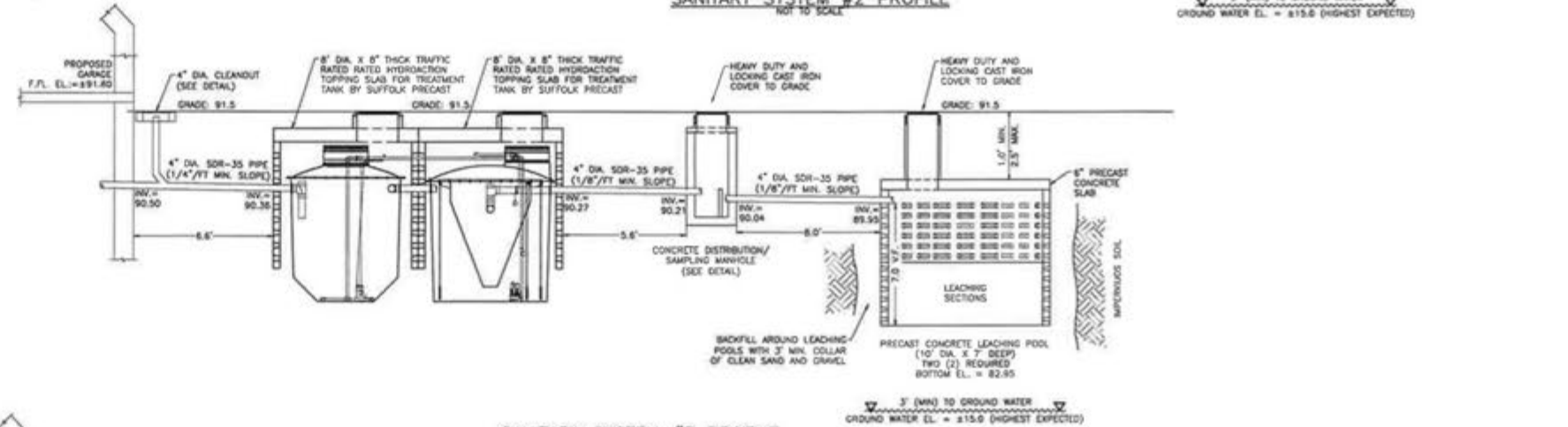
TREATMENT TANK: ONE (1) HYDRO-ACTION AN500-C = 500 GALLONS
 LEACHING POOLS: ONE (1) 10" DIA. X 10' DEEP LEACHING POOL = 10.0 V.F.



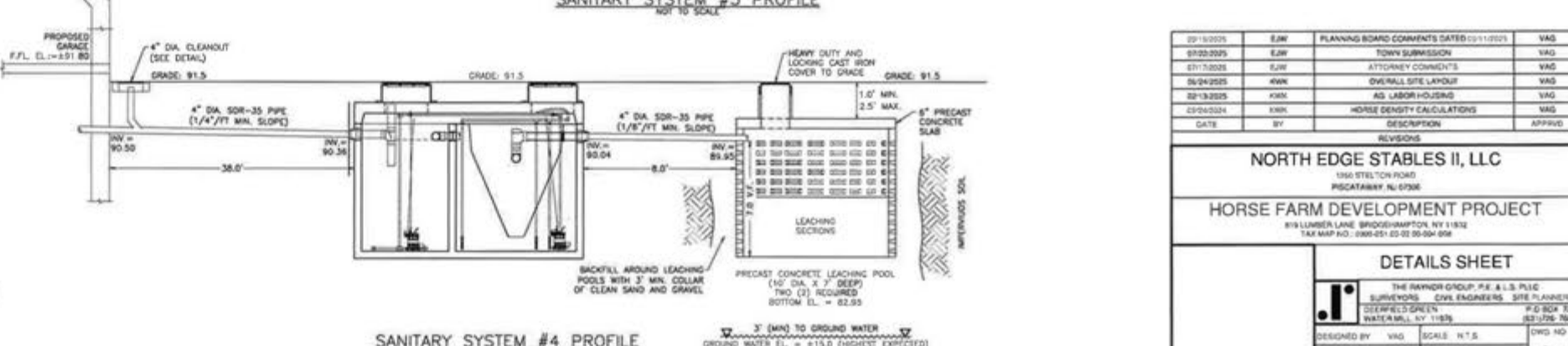
SANITARY SYSTEM #1 PROFILE



SANITARY SYSTEM #2 PROFILE



SANITARY SYSTEM #3 PROFILE

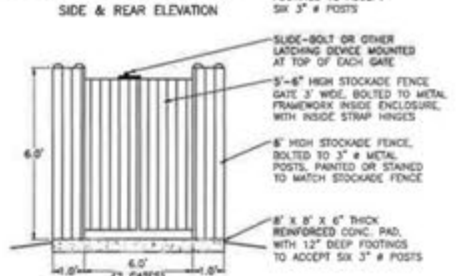
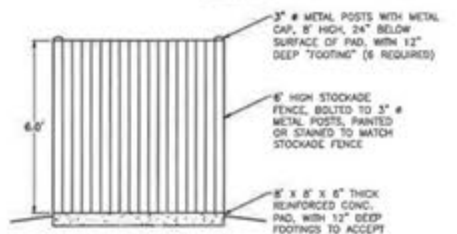
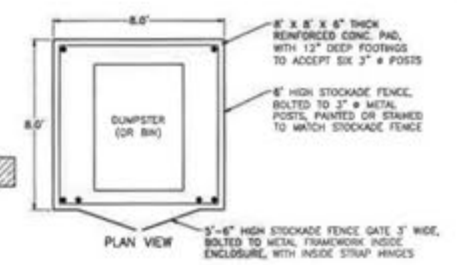
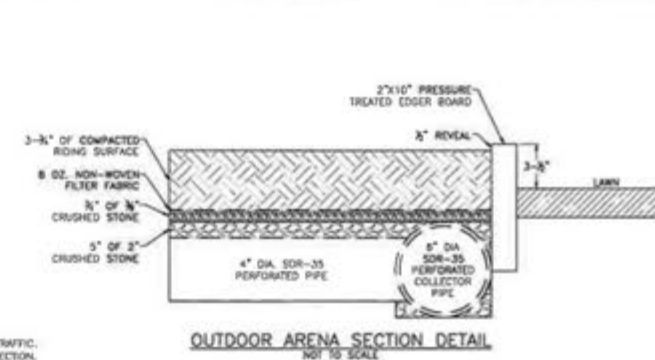
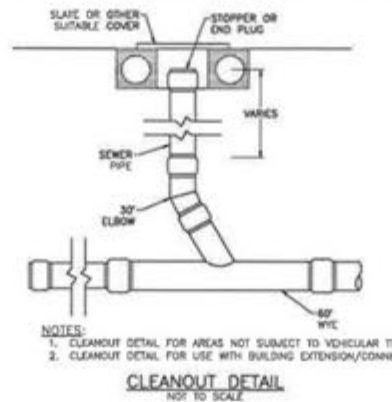
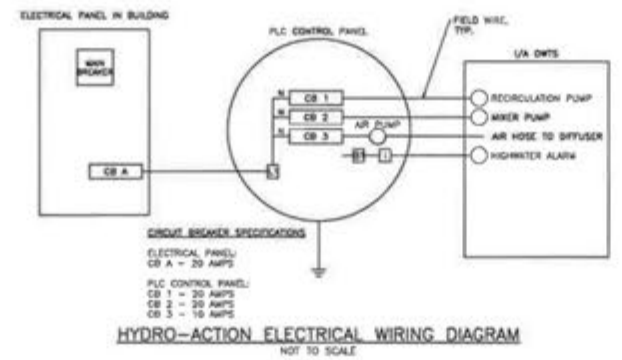


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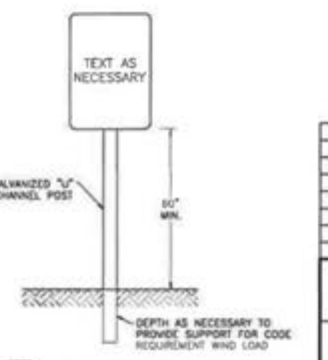
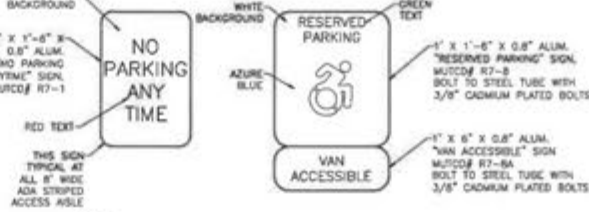
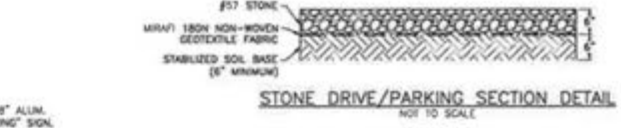
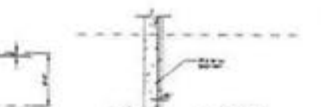
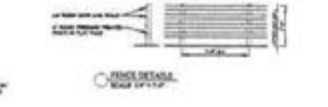
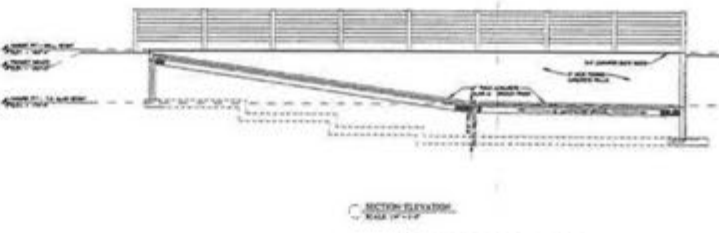
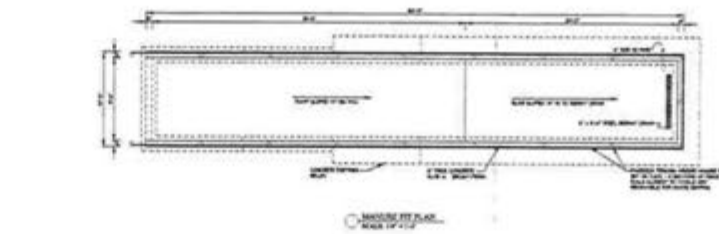
DATE	BY	DESCRIPTION	APPROVED
02/15/2025	EJV	PLANNING BOARD COMMENTS DATED 02/11/2025	VAG
02/20/2025	EJV	TOWN SUBMISSION	VAG
02/17/2025	EJV	ATTORNEY COMMENTS	VAG
02/04/2025	KHM	OVERALL SITE LAYOUT	VAG
02/13/2025	KHM	AG LABOR HOUSES	VAG
02/03/2024	SNH	HORSE DENSITY CALCULATIONS	VAG

REVISIONS			
DATE	BY	DESCRIPTION	APPROVED

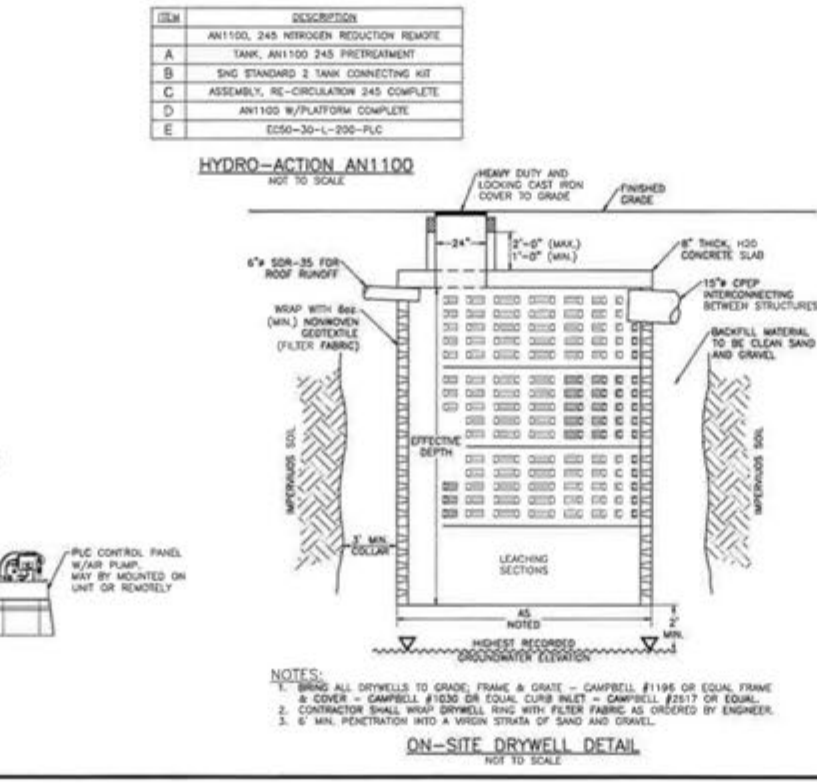
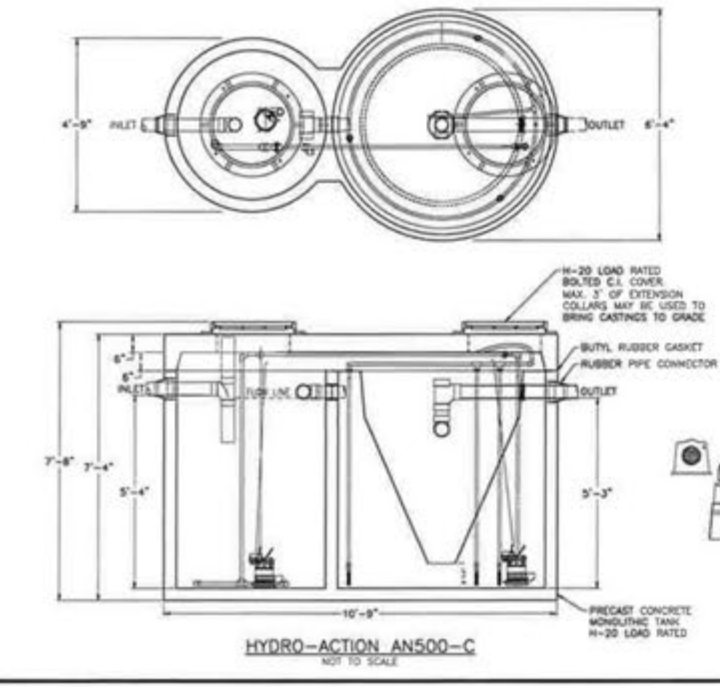
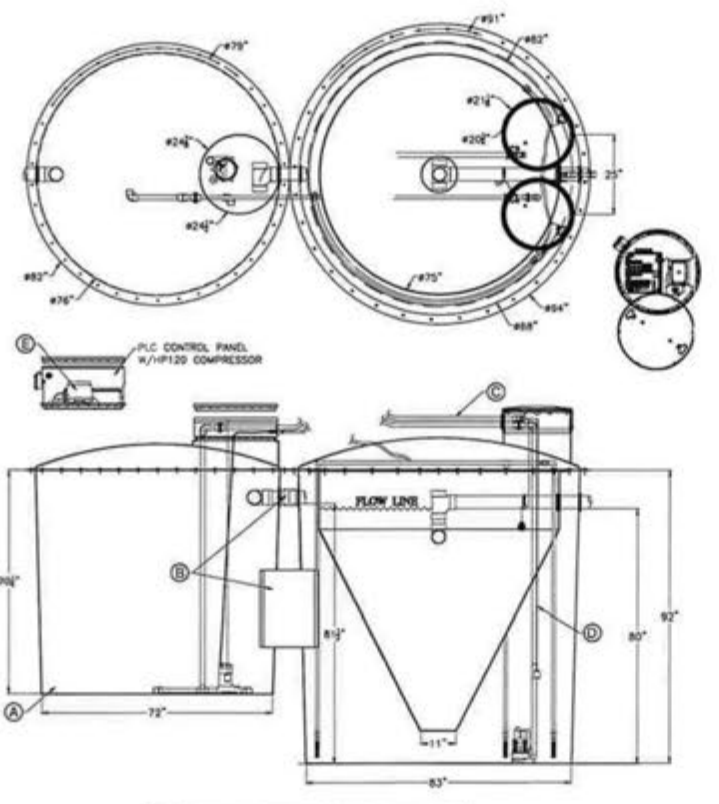
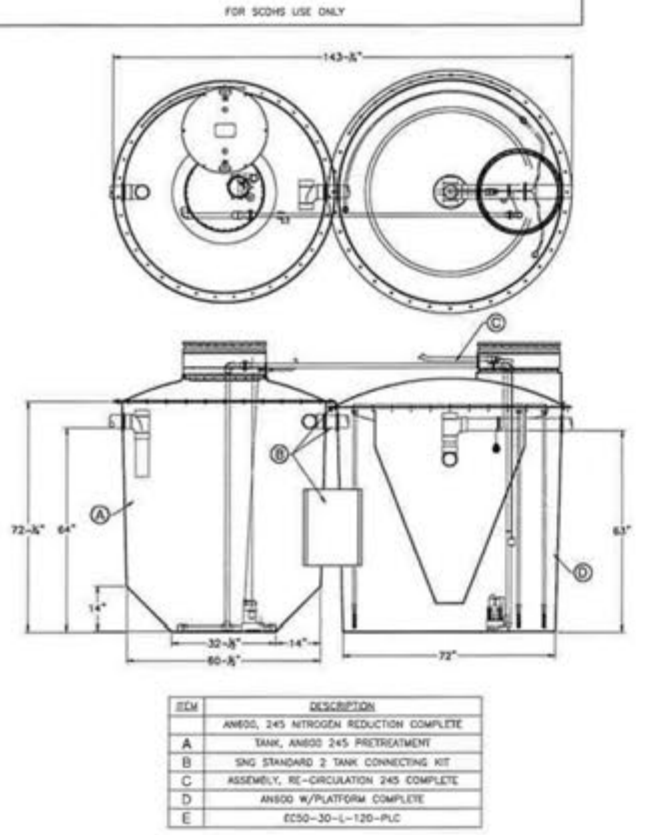
NORTH EDGE STABLES II, LLC			
1360 STELTON ROAD PISCATAWAY, NJ 07956			
HORSE FARM DEVELOPMENT PROJECT			
819 LUMBER LANE, BRIDGEHAMPTON, NY 11912 134 MAP NO. 2000-01-03-02 00-00-000			
DETAILS SHEET			
THE RAYNOR GROUP, P.E. & L.S. PLLC SUPERVISORS CIVIL ENGINEERS SITE PLANNERS DESIGNED BY VAG SCALE: N.T.S. DWG NO. DRAWN BY KHM DATE: 04/20/24 APPROVED BY VAG FILE NO.: 2358			



PROPOSED DUMPSTER ENCLOSURE
NOT TO SCALE



NOTES:
1. ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", AND LOCAL CODES AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
2. MANUFACTURER LOCATION OF CURBED ISLANDS SHALL NOT BE LESS THAN 18" MOUNTING LOCATION FROM EDGE OF PAINTED ISLANDS SHALL NOT BE LESS THAN 36".



DATE	BY	DESCRIPTION	APPROV
10/15/2025	EW	PLANNING BOARD COMMENTS DATED 09/14/2025	VAG
07/22/2025	EW	TOWN LIGHTS/SCHEM	VAG
07/17/2025	EW	ATTORNEY COMMENTS	VAG
06/26/2025	KWK	OVERALL SITE LAYOUT	VAG
05/19/2025	KWK	AG LABOR HOUSING	VAG
03/24/2024	KWK	HORSE DENSITY CALCULATIONS	VAG

REVISIONS

NORTH EDGE STABLES II, LLC
190 STEELTON ROAD
PISCATAWAY, NJ 07096

HORSE FARM DEVELOPMENT PROJECT
#19 LUMBERLANE, BROOKHAMPTON NY 11962
133 SAMP NO. 1360-01-01-01-00-00-000

DETAILS CONTINUED

THE TRAYNOR GROUP, P.E. & L.S. PLLC
SURVEYORS, CIVIL ENGINEERS, SITE PLANNERS
DEARFIELD GREEN
WATER MILLS, NY 11956

DESIGNED BY: VAG SCALE: N.T.S. DWG NO.
DRAWN BY: KWK DATE: 04/05/2024 P. 23 OF 750
APPROVED BY: VAG FILE NO. 2504

C-4



UCO-10127
Columbus 2 Bollard

LIGMAN LIGHTING USA

PROJECT: North Edge Stables DATE: 01/19/25

QUANTITY: 26 TYPE: 2 NOTE: N/A

ORDERING EXAMPLE: UCO-10127-41w-2-W27-01-120/277v - Options

ILLUMINATION TABLE

AVG.	MAX	MIN	UNIFORMITY RATIO (MAX./MIN.)	UNIFORMITY RATIO (AVG./MIN.)
0.07	5.0	0.1	50:1	6.7:1

Lighting legend and notes for UCO-10127.

UDU-30206
Duomo Shepherds Crock Surface

LIGMAN LIGHTING USA

PROJECT: North Edge Stables DATE: 01/19/25

QUANTITY: 37 TYPE: 2 NOTE: N/A

ORDERING EXAMPLE: UDU-30206-41w-2-W27-01-120/277v - Options

ILLUMINATION TABLE

AVG.	MAX	MIN	UNIFORMITY RATIO (MAX./MIN.)	UNIFORMITY RATIO (AVG./MIN.)
0.07	5.0	0.1	50:1	6.7:1

Lighting legend and notes for UDU-30206.

GRAND INGROUND 12V
503

WAC LANDSCAPE LIGHTING

PROJECT: North Edge Stables DATE: 01/19/25

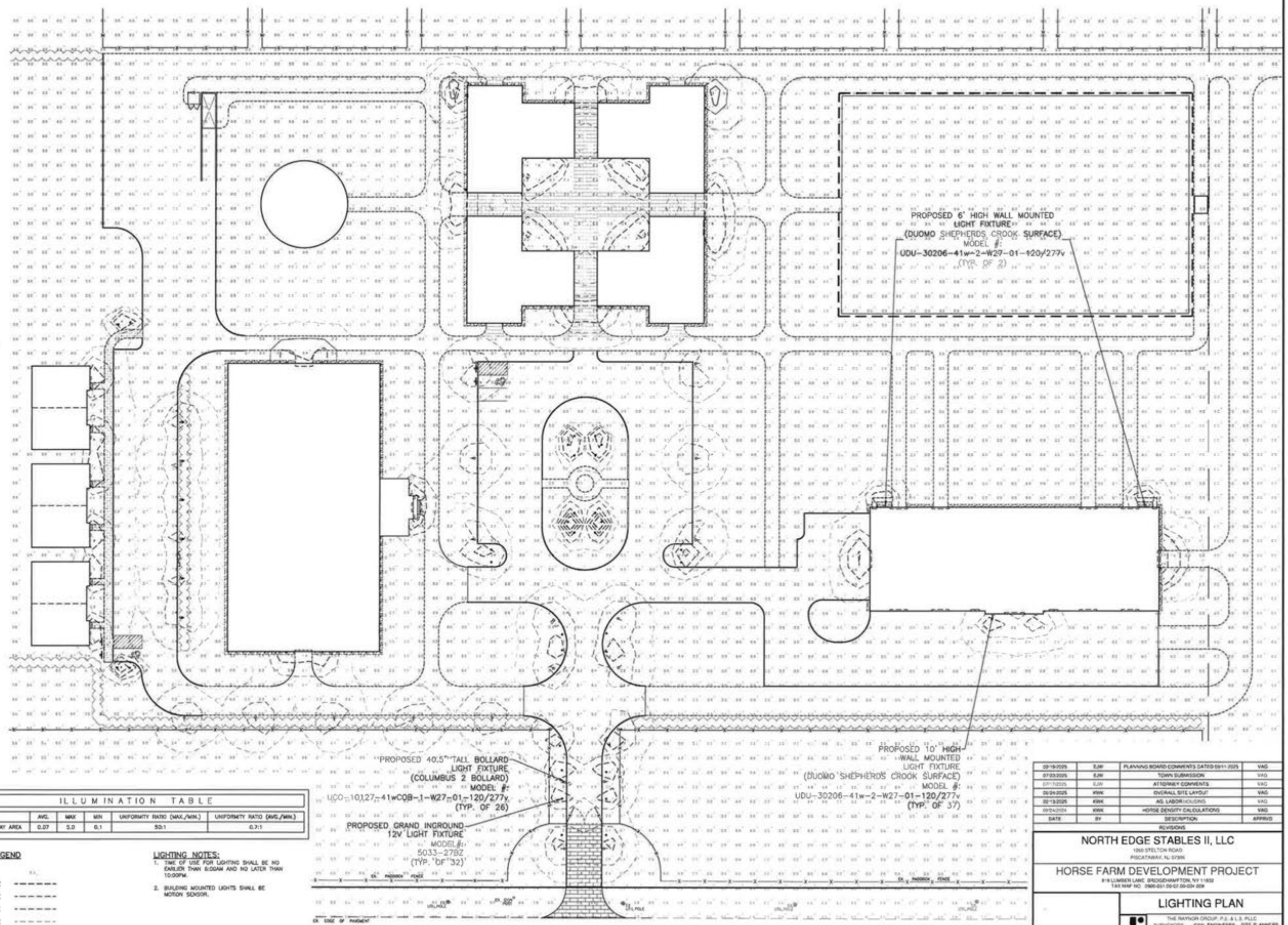
QUANTITY: 12V TYPE: 1 NOTE: N/A

ORDERING EXAMPLE: GRAND INGROUND 12V 503 - Options

ILLUMINATION TABLE

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0.07	5.0	0.1	50:1	6.7:1

Lighting legend and notes for GRAND INGROUND 12V.



ILLUMINATION TABLE

	AVG.	MAX	MIN	UNIFORMITY RATIO (MAX./MIN.)	UNIFORMITY RATIO (AVG./MIN.)
PARKING/WALKWAY AREA	0.07	5.0	0.1	50:1	6.7:1

LIGHTING LEGEND

FOOT CANDLE	1.0
3.0 FOOT CANDLE	-----
2.0 FOOT CANDLE	-----
1.0 FOOT CANDLE	-----
0.1 FOOT CANDLE	-----

- LIGHTING NOTES:**
1. TIME OF USE FOR LIGHTING SHALL BE NO EARLIER THAN 6:00AM AND NO LATER THAN 10:00PM.
 2. BUILDING MOUNTED LIGHTS SHALL BE MOTION SENSOR.

PROPOSED 40.5" TALL BOLLARD LIGHT FIXTURE (COLUMBUS 2 BOLLARD) MODEL #: UCO-10127-41w-2-W27-01-120/277v (TYP. OF 26)

PROPOSED GRAND INGROUND 12V LIGHT FIXTURE MODEL #: 5033-27BZ (TYP. OF 12)

PROPOSED 6' HIGH WALL MOUNTED LIGHT FIXTURE (DUOMO SHEPHERDS CROCK SURFACE) MODEL #: UDU-30206-41w-2-W27-01-120/277v (TYP. OF 2)

PROPOSED 10' HIGH WALL MOUNTED LIGHT FIXTURE (DUOMO SHEPHERDS CROCK SURFACE) MODEL #: UDU-30206-41w-2-W27-01-120/277v (TYP. OF 37)

DATE	BY	DESCRIPTION	APPROVED
01/19/2025	EJM	PLANNING BOARD COMMENTS DATED 01/11/2025	VAG
01/23/2025	EJM	TOWN SUBMISSION	VAG
01/17/2025	EJM	ATTORNEY COMMENTS	VAG
02/04/2025	KWK	GENERAL SITE LAYOUT	VAG
02/13/2025	KWK	AG LABOR/HOURS	VAG
01/24/2024	KWK	HORSE DENSITY CALCULATIONS	VAG

NORTH EDGE STABLES II, LLC
126 STELTON ROAD
POCATAWAY, NJ 07296

HORSE FARM DEVELOPMENT PROJECT
819 LUMBER LANE BROOKHAMPTON, NY 11932
LAX MAP NO. 2900-01-00-01-00-004 029

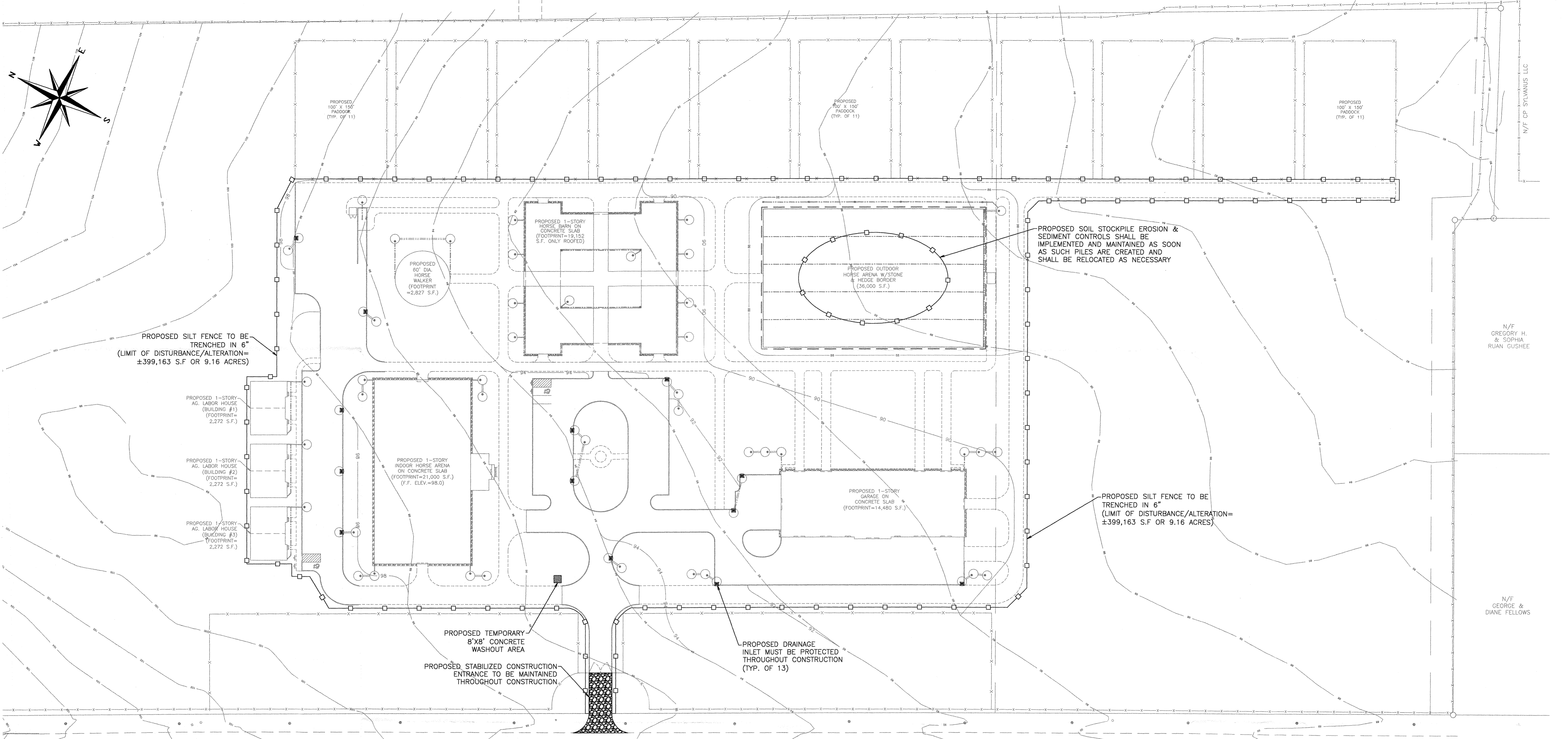
LIGHTING PLAN

THE BAYBOR GROUP P.E. & L.S. PLLC
SURVEYORS CIVIL ENGINEERS SITE PLANNERS
DEERFIELD GREEN P.O. BOX 720
WATERMILL, NY 11976

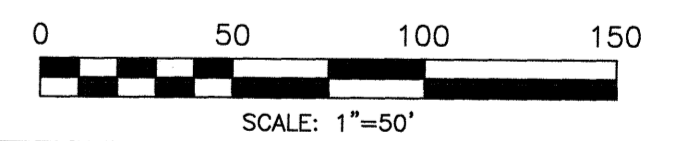
DESIGNED BY: VAG SCALE: 1"=30' DWG NO.
DRAWN BY: KWK DATE: 01/21/2024
APPROVED BY: VAG FILE NO.: 3126

L-1





- EROSION CONTROL MEASURES:**
- IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 93 - STORMWATER MANAGEMENT AND EROSION & SEDIMENT CONTROL OF THE VILLAGE OF SOUTHAMPTON ZONING CODE, A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE PREPARED AND PERMIT COVERAGE OBTAINED UNDER THE NYSDEC, SPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITY (GP-0-25-001) FOR THE PROPOSED LAND DEVELOPMENT AND COMMON DRIVEWAY IMPROVEMENTS.
 - THE FOLLOWING GENERAL CONDITIONS SHALL BE OBSERVED:
 - EXISTING VEGETATION TO REMAIN SHALL BE PROTECTED AND REMAIN UNDISTURBED.
 - CLEARING AND GRADING SHALL BE SCHEDULED SO AS TO MINIMIZE THE SIZE OF EXPOSED AREAS AND THE LENGTH OF TIME THAT AREAS ARE EXPOSED.
 - THE LENGTH AND STEEPNESS OF CLEARED SLOPES SHALL BE MINIMIZED TO REDUCE RUNOFF VELOCITIES.
 - SEDIMENT SHALL BE RETAINED ON THE SITE.
 - SPECIFIC SEDIMENT CONTROL METHODS AND MATERIALS EMPLOYED IN THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL MEASURES SHALL CONFORM TO THE "NEW YORK GUIDELINES FOR EROSION AND SEDIMENT CONTROL".
 - SEDIMENT BARRIERS (SILT FENCE, HAY BALES OR APPROVED EQUAL) SHALL BE INSTALLED AS REQUIRED ALONG THE LIMITS OF DISTURBANCE FOR THE DURATION OF THE WORK. NO SEDIMENT FROM THE SITE SHALL BE PERMITTED TO WASH ONTO ADJACENT PROPERTIES, WETLANDS OR ROADS.
 - GRADED AND STRIPPED AREAS AND STOCKPILES SHALL BE KEPT STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AS REQUIRED. SEED MIXTURES SHALL BE IN ACCORDANCE WITH THE NATIONAL RESOURCES CONSERVATION SERVICE RECOMMENDATIONS.
 - DRAINAGE INLETS INSTALLED AS PART OF THE PROJECT SHALL BE PROTECTED FROM SEDIMENT BUILDUP THROUGH THE USE OF SEDIMENT BARRIERS, SEDIMENT TRAPS, ETC. AS REQUIRED.
 - INSPECTION AND MAINTENANCE OF EROSION CONTROL MEASURES IS TO BE PERFORMED DAILY BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION FOR THE DAY AND AFTER HEAVY OR PROLONGED STORMS. MAINTENANCE MEASURES INCLUDE, BUT ARE NOT LIMITED TO, CLEANING AND/ OR REPAIR OF SEDIMENT BASINS OR TRAPS, SEDIMENT BARRIERS, BERMS, DIVERSIONS, AND INLET PROTECTION.
 - APPROPRIATE MEANS SHALL BE USED TO CONTROL DUST DURING CONSTRUCTION.
 - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED TO PREVENT SOIL AND LOOSE DEBRIS FROM BEING TRACKED ONTO LOCAL ROADS. THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED UNTIL SITE IS PERMANENTLY STABILIZED.
 - SEDIMENT BARRIERS AND OTHER EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL UPLAND DISTURBED AREAS ARE PERMANENTLY STABILIZED. AFTER PERMANENT STABILIZATION, PAVED AREAS SHALL BE CLEANED AND THE DRAINAGE SYSTEM CLEANED AND FLUSHED AS NECESSARY.
 - ENGINEERING DIVISION TO BE CONTACTED NO LESS THAN 48 HOURS IN ADVANCE, TO INSPECT EROSION CONTROL MEASURES, DRAINAGE BEFORE BACKFILLING, BEFORE AND AFTER PAVING OF ROADS AND PARKING LOTS. FAILURE TO OBTAIN ENGINEERING INSPECTIONS DURING THE CONSTRUCTION PROCESS WILL EITHER DELAY FINAL APPROVAL, OR INCUR SUBSTANTIAL COSTS TO THE APPLICANT TO EXPOSE INSTALLED COMPONENTS, IN ORDER TO OBTAIN APPROVAL.
 - CONSTRUCTION VEHICLES SHALL NOT BE WASHED ONSITE.
 - PROPOSED AREA OF DISTURBANCE = ±399,163 S.F OR 9.16 ACRES



DATE	BY	DESCRIPTION	APPRVD
11/24/2025	KWK	AREA OF ALTERATION/DISTURBANCE	VAG
09/19/2025	EJW	PLANNING BOARD COMMENTS DATED 09/11/2025	VAG
07/22/2025	EJW	TOWN SUBMISSION	VAG
07/17/2025	EJW	ATTORNEY COMMENTS	VAG
06/24/2025	KWK	OVERALL SITE LAYOUT	VAG
02/13/2025	KWK	AG. LABOR HOUSING	VAG
09/24/2024	KWK	HORSE DENSITY CALCULATIONS	VAG

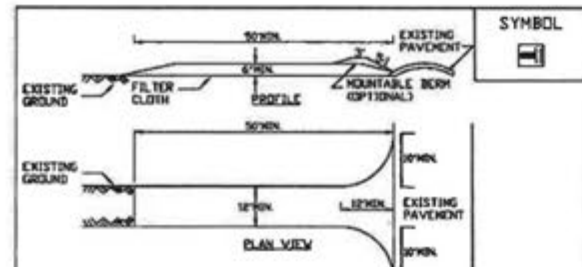
NORTH EDGE STABLES II, LLC
 1260 STELTON ROAD
 PISCATAWAY, NJ 07066

HORSE FARM DEVELOPMENT PROJECT
 819 LUMBER LANE, BRIDGEHAMPTON, NY 11932
 TAX MAP NO.: 0900-051.00-02.00-004.008

	DESIGNED BY: VAG	SCALE: 1"=50'	DWG. NO.
	DRAWN BY: KWK	DATE: 04/25/2024	ESC-1
	APPROVED BY: VAG	FILE NO.: 3758	

THE RAYNOR GROUP, P.E. & L.S. PLLC
 SURVEYORS - CIVIL ENGINEERS - SITE PLANNERS
 DEERFIELD GREEN P.O. BOX 720
 WATER MILL, NY 11976 (631)226-7600

Figure 2.1
Stabilized Construction Access



CONSTRUCTION SPECIFICATIONS

1. STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 30 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE, IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5% SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLS, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

ADAPTED FROM DETAILS PROVIDED BY USIA - NCEC,
NEW YORK STATE DEPARTMENT OF TRANSPORTATION,
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION,
NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

**STABILIZED
CONSTRUCTION
ACCESS**

**STANDARD AND SPECIFICATIONS FOR
CONCRETE TRUCK WASHOUT**



leaching of liquids into the ground. The liner shall be plastic sheeting with a minimum thickness of 10 mils with no holes or tears, and anchored beyond the top of the pit with an earthen berm, sand bags, stone, or other structural appearance except at the access point.

If pre-fabricated washouts are used they must ensure the repair and containment of the concrete wash and be sized based on the expected frequency of concrete pours. They shall be sized as noted in the location criteria.

Maintenance

- All concrete washout facilities shall be inspected daily. Damaged or leaking facilities shall be deactivated and repaired or replaced immediately. Excess rainwater that has accumulated over hardened concrete should be pumped to a stabilized area, such as a grass filter strip.
- Accumulated hardened material shall be removed when 25% of the storage capacity of the structure is filled. Any excess wash water shall be pumped into a containment vessel and properly disposed of off site.
- Dispose of the hardened material off-site in a construction/landfill landfill. On-site disposal may be allowed if this has been approved and accepted as part of the project's SWPPP. In that case, the material should be recycled as specified, or buried and covered with a minimum of 2 feet of clean compacted earthfill that is permanently stabilized to prevent erosion.
- The plastic liner shall be replaced with each cleaning of the washout facility.
- Inspect the project site frequently to ensure that no concrete discharges are taking place in non-designated areas.

Definition & Scope

A temporary excavated or above ground lined constructed pit where concrete truck mixers and equipment can be washed after their loads have been discharged, to prevent highly alkaline runoff from entering storm drainage systems or leaching into soil.

Conditions Where Practice Applies

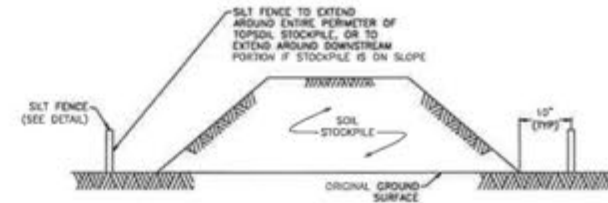
Washout facilities shall be provided for every project where concrete will be poured or otherwise formed on the site. This facility will receive highly alkaline wash water from the cleaning of chutes, mixers, hoppers, vibrators, placing equipment, tools, and screeds. Under no circumstances will wash water from these operations be allowed to infiltrate into the soil or enter surface waters.

Design Criteria

Capacity: The washout facility should be sized to contain solids, wash water, and rainfall and need to allow for the evaporation of the wash water and rainfall. Wash water shall be estimated at 7 gallons per cubic yard and 30 gallons per hopper of the concrete pump truck and/or discharging drum. The minimum size shall be 8 feet by 8 feet at the bottom and 2 feet deep. If excavated, the side slopes shall be 2 horizontal to 1 vertical.

Location: Locate the facility a minimum of 100 feet from drainage swales, storm drain inlets, wetlands, streams and other surface waters. Prevent surface water from entering the structure except for the access road. Provide appropriate access with a gravel access road sloped down to the structure. Signs shall be placed to direct drivers to the facility after their load is discharged.

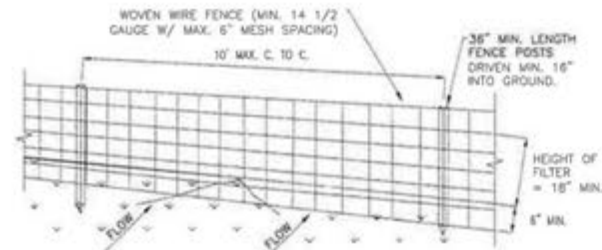
Liners: All washout facilities will be lined to prevent



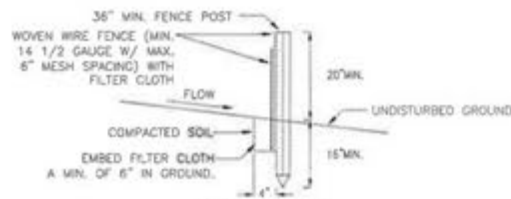
CONSTRUCTION SPECIFICATIONS

1. AN ON-SITE DRAINAGE SWALE SHALL BE LOCATED BETWEEN THE TOPSOIL STOCKPILE AND OFF-SITE PROPERTY.
2. REFERENCE IS MADE TO THE SILT FENCE DETAIL (DR-3) FOR MATERIALS AND INSTALLATION METHODS.
3. IF THE STOCKPILE IS TO REMAIN FOR MORE THAN 14 DAYS, IT SHALL BE STABILIZED WITH STRAW BLANKET OR SEEDS TO MINIMIZE EROSION.
4. INSPECTION OF SILT FENCES SHALL BE AT LEAST ONCE PER WEEK AND AFTER RAIN EVENTS IN EXCESS OF HALF INCH (1/2") PER DAY OR EQUAL SNOW MELT. REPAIR OR REPLACEMENT OF SILT FENCE SHALL BE MADE PROMPTLY AS NEEDED.
5. SEDIMENT TRAPPED BY THE SILT FENCES SHALL BE REMOVED AND PROPERLY DISPOSED OF WHENEVER SEDIMENT ACCUMULATION DEPTH AT THE SILT FENCE IS APPROXIMATELY EQUAL TO TWELVE (12) INCHES (ONE-HALF OF SILT FENCE HEIGHT).
6. SILT FENCES SHALL BE MAINTAINED IN PLACE UNTIL TOPSOIL STOCKPILE HAS BEEN ELIMINATED AND SHALL BE REMOVED ONLY WHEN DIRECTED BY VILLAGE ENGINEERING.

**TEMPORARY SOIL STOCKPILE DETAIL
NOT TO SCALE**



**PERSPECTIVE VIEW
NOT TO SCALE**



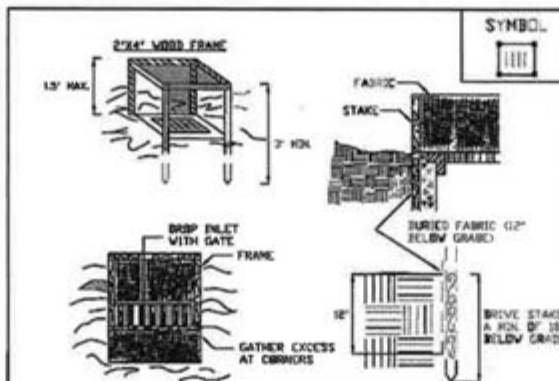
**SECTION VIEW
NOT TO SCALE**

CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAF 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOTAB, ENVIROFENCE, OR APPROVED EQUIVALENT. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

**SILT FENCE DETAIL
NOT TO SCALE**

Figure 5.32
Fabric Drop Inlet Protection



CONSTRUCTION SPECIFICATIONS

1. FABRIC SHALL HAVE A MASS OF 40-80 BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
3. STAKE MATERIALS WILL BE STANDARD 2x4 WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPACES GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
5. FABRIC SHALL BE CHAINED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
6. A 2" x 4" WOOD FRAME SHALL BE COMPLETE AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY. MAXIMUM DRAINAGE AREA 1 ACRE.

ADAPTED FROM DETAILS PROVIDED BY USIA - NCEC,
NEW YORK STATE DEPARTMENT OF TRANSPORTATION,
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION,
NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

**FABRIC
DROP INLET
PROTECTION**



DATE	BY	DESCRIPTION	APPROVED
09-18-2015	EJW	PLANNING BOARD COMMENTS DATED 09-11-2015	VAG
07-22-2015	EJW	TOWN SUBMISSION	VAG
07-17-2015	EJW	ATTORNEY COMMENTS	VAG
06-24-2015	KWK	OVERALL SITE LAYOUT	VAG
05-13-2015	KWK	NO LABOR HOUSING	VAG
05-04-2014	KWK	HORSE DENSITY CALCULATIONS	VAG

NORTH EDGE STABLES II, LLC
1766 STELTON ROAD
PICCATAWAY, NJ 07306

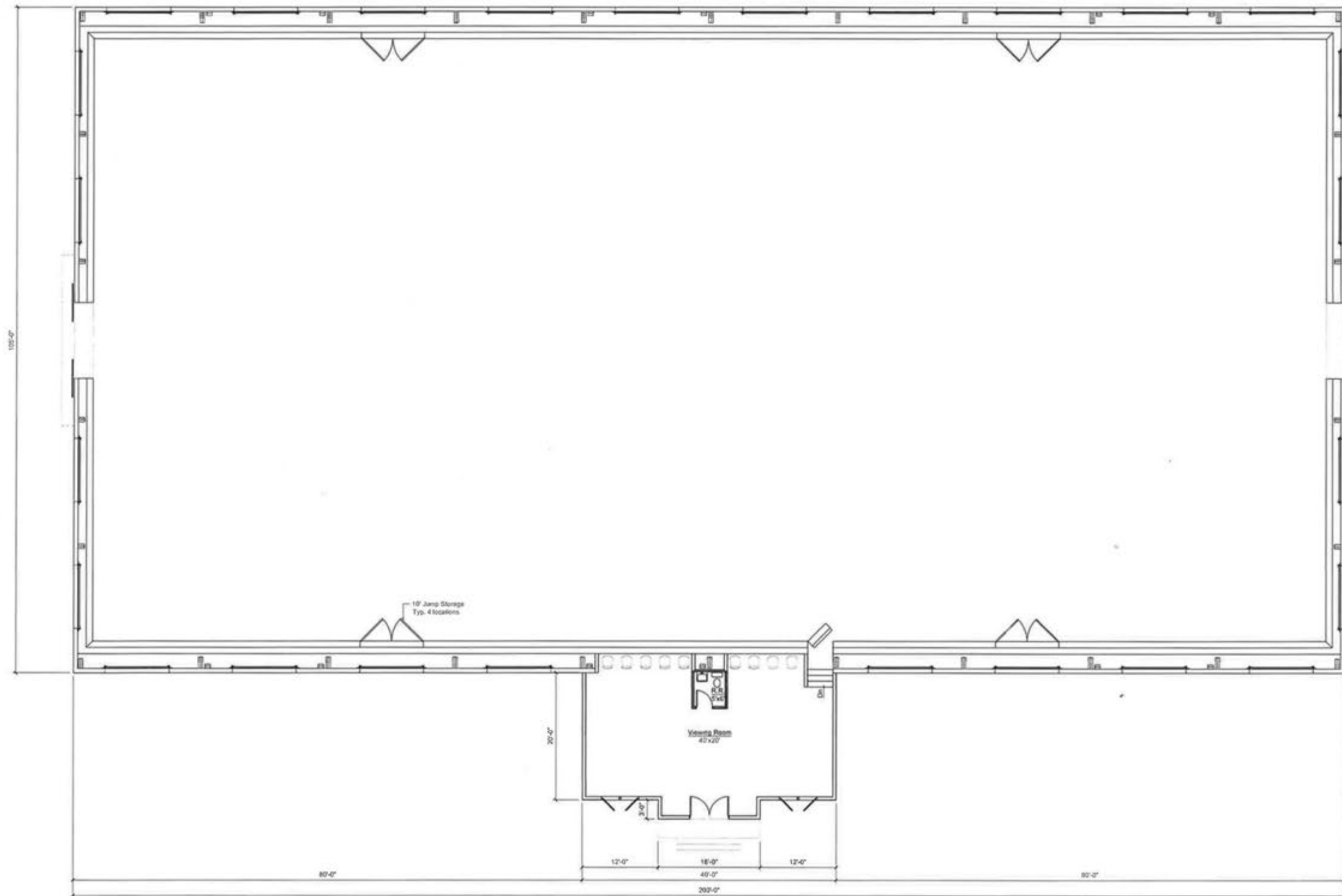
HORSE FARM DEVELOPMENT PROJECT
878 LUMBERLANE BRIDGEWATER, NJ 07002
TAX MAP NO. 200-001-00-02-00-004-008

**EROSION & SEDIMENT
CONTROL PLAN DETAILS**

THE RAYKOR GROUP, P.A. & L.S. PLLC
SUPERVISORS CIVIL ENGINEERS SITE PLANNERS
SCARFELDT/REY
WALKER, N.J. 07186

DESIGNED BY	SCALE	N.T.S.	DWG. NO.
VAG			
DRAWN BY	DATE	DATE	
KWK	04/15/15	04/15/15	ESC-2
APPROVED BY	VAG	FILE NO.	3758

* For Zoning Board Approval
Not For Construction



FLOOR PLAN
Scale: 1/8" = 1'-0"



* For Planning Board Approval *
Not For Construction



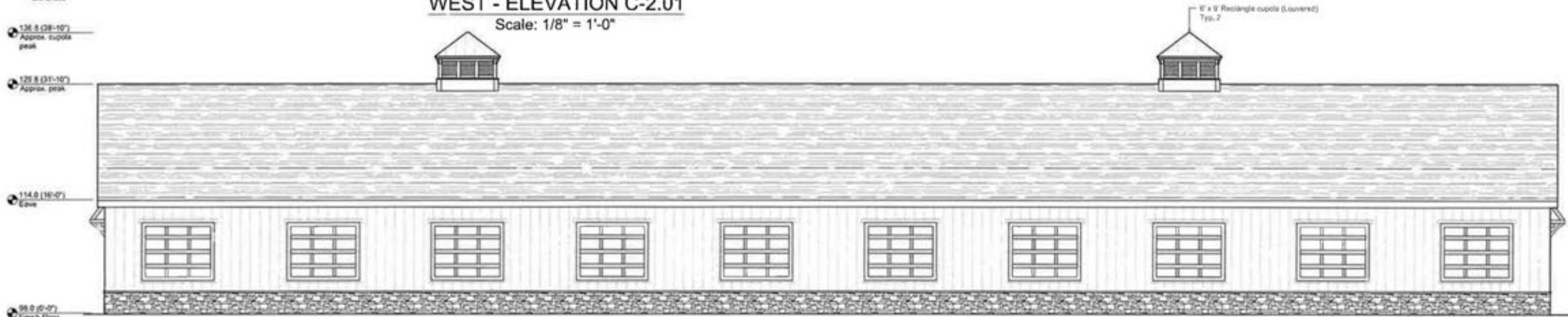
SOUTH - ELEVATION A-2.01
Scale: 1/8" = 1'-0"



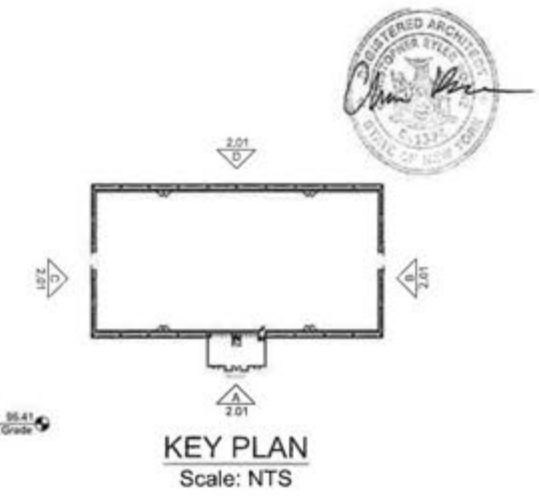
EAST - ELEVATION B-2.01
Scale: 1/8" = 1'-0"



WEST - ELEVATION C-2.01
Scale: 1/8" = 1'-0"



NORTH - ELEVATION D-2.01
Scale: 1/8" = 1'-0"



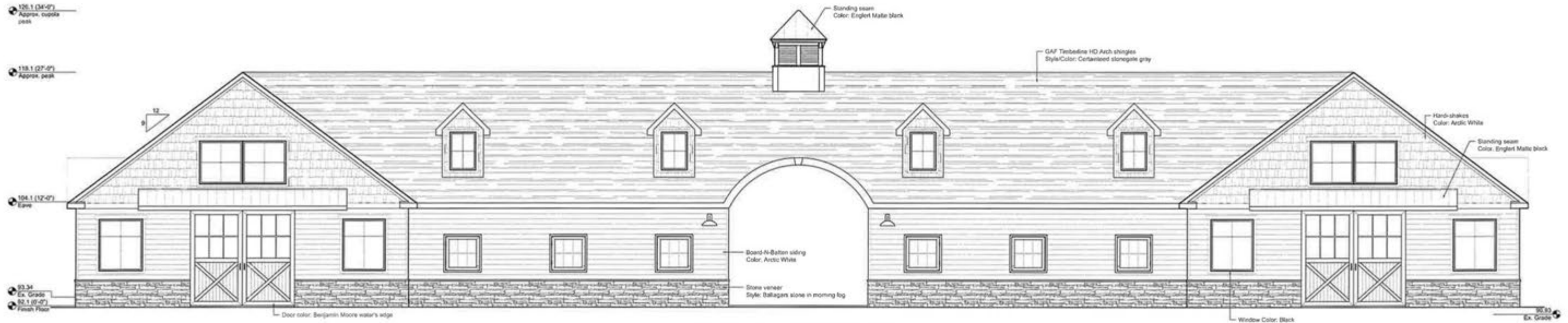
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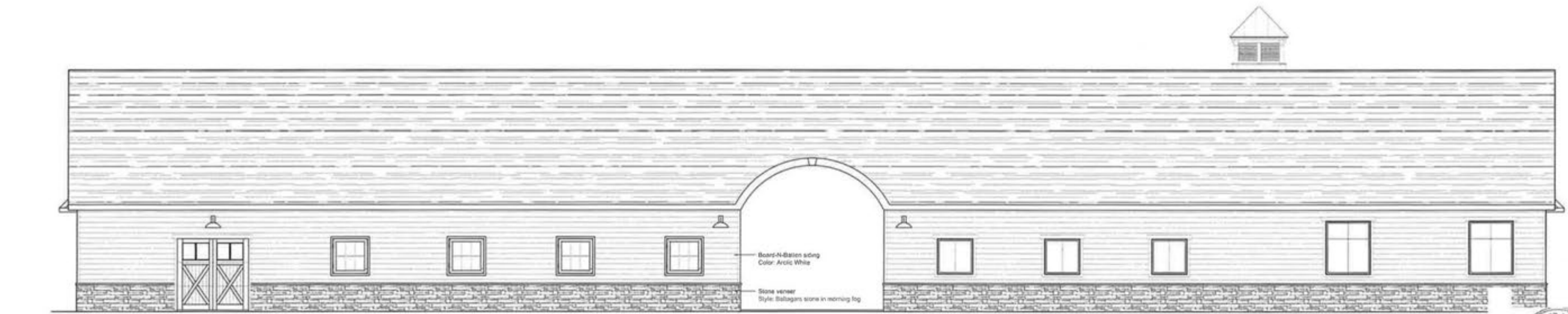


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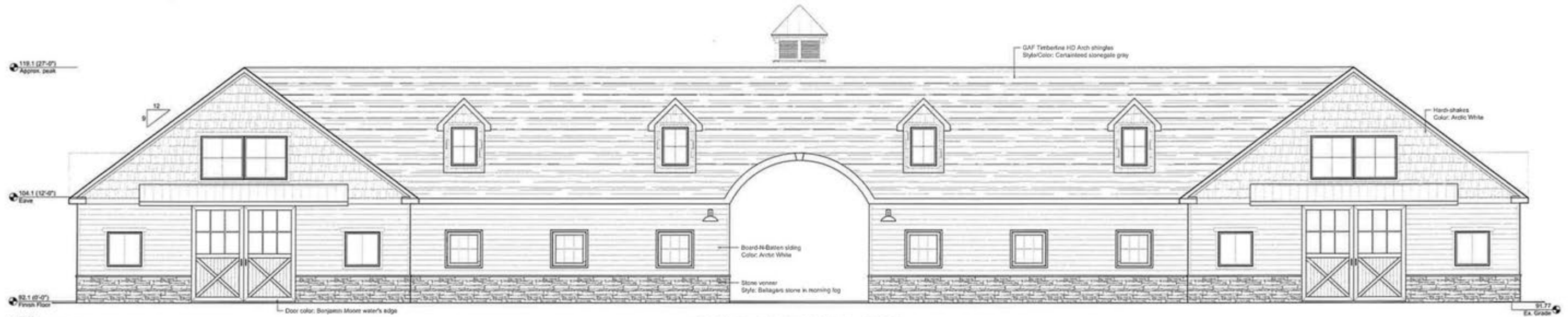
WEST - ELEVATION A-2.01
Scale: 3/16" = 1'-0"



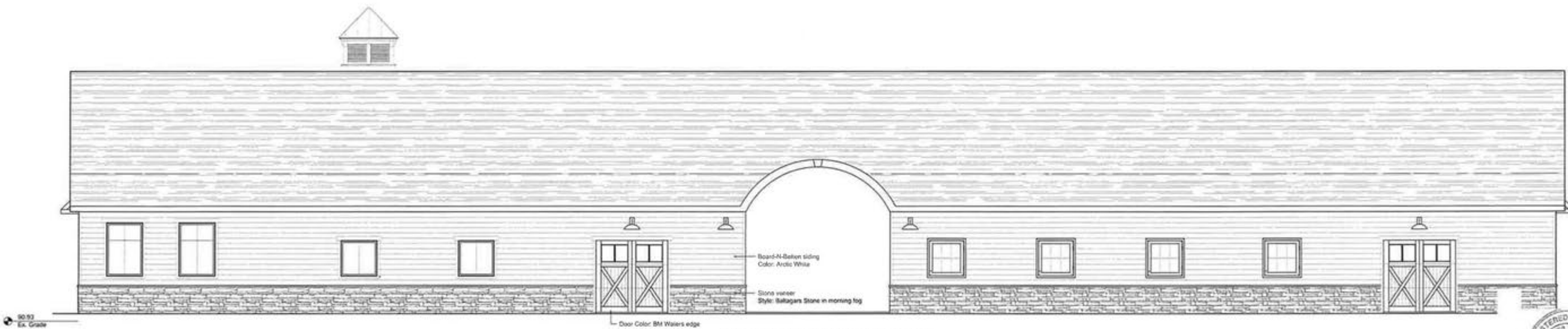
NORTH - ELEVATION B-2.01
Scale: 3/16" = 1'-0"



KEY PLAN
Scale: NTS



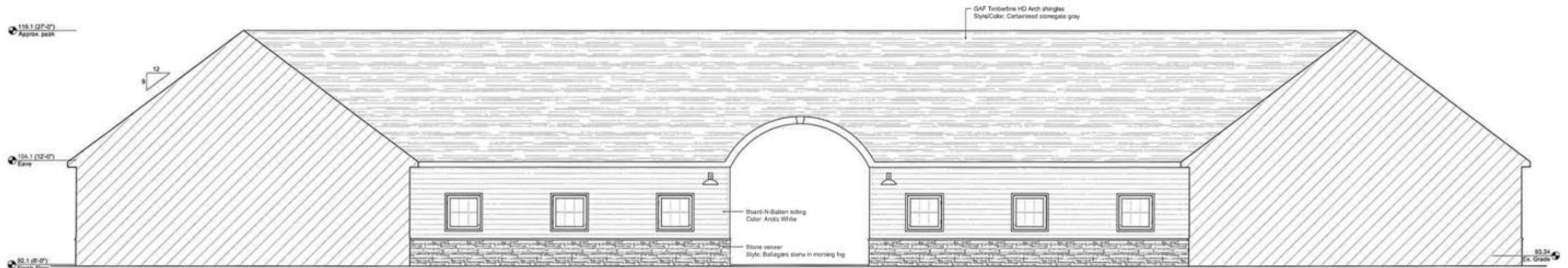
SOUTH - ELEVATION A-2.02
Scale: 3/16" = 1'-0"



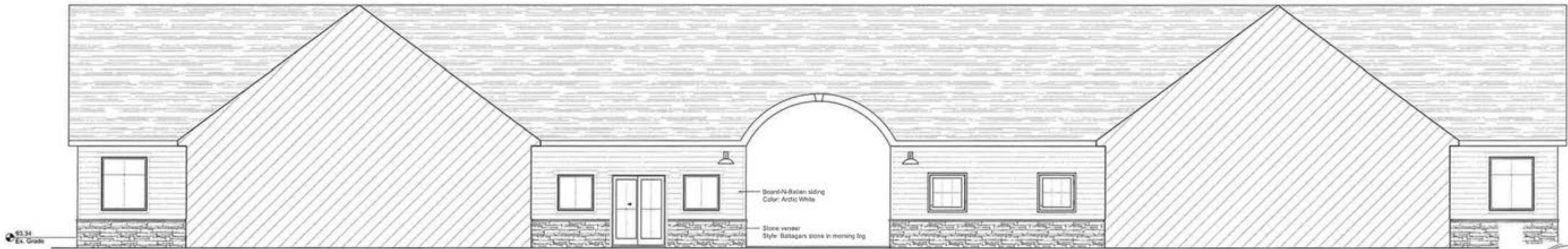
EAST - ELEVATION B-2.02
Scale: 3/16" = 1'-0"



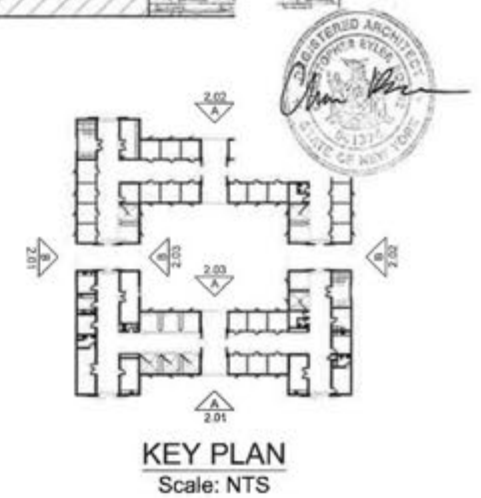
KEY PLAN
Scale: NTS



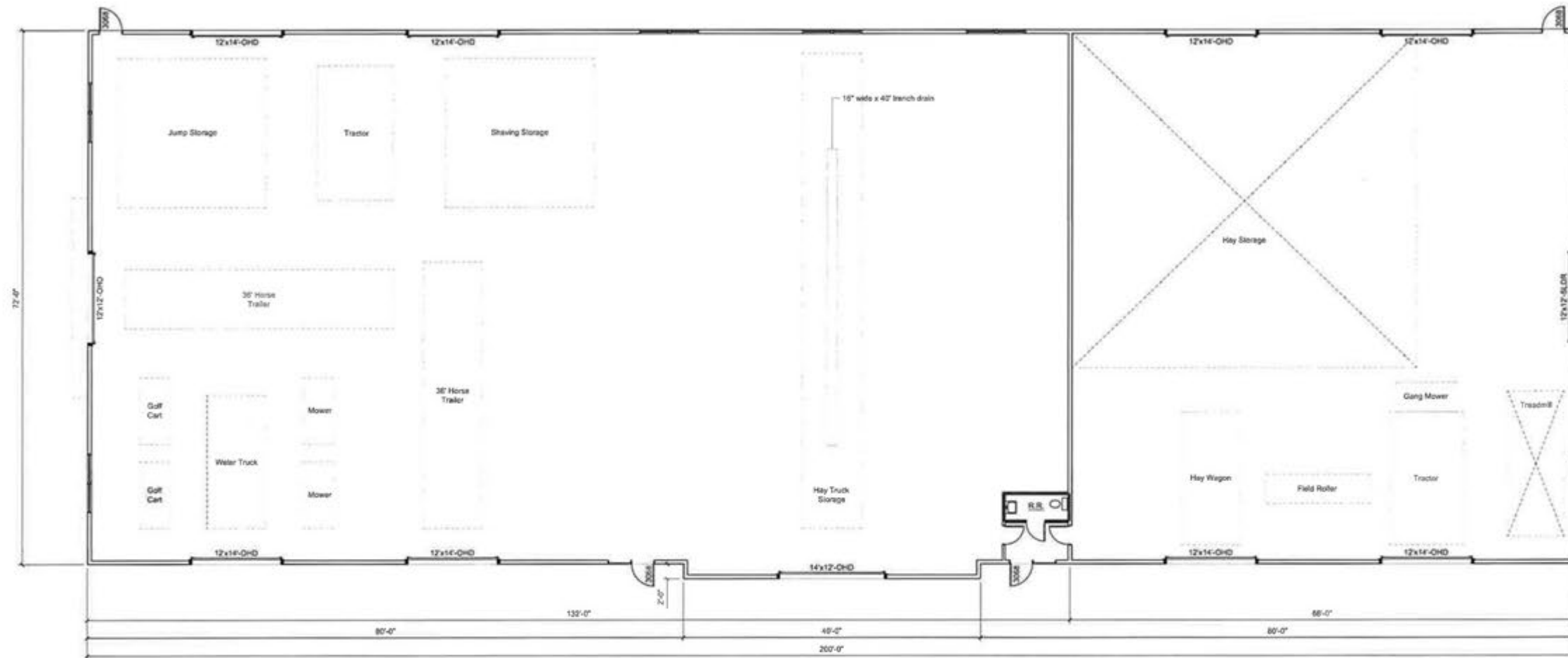
WEST - COURTYARD ELEVATION A-2.03
Scale: 3/16" = 1'-0"



NORTH - COURTYARD ELEVATION B-2.03
Scale: 3/16" = 1'-0"



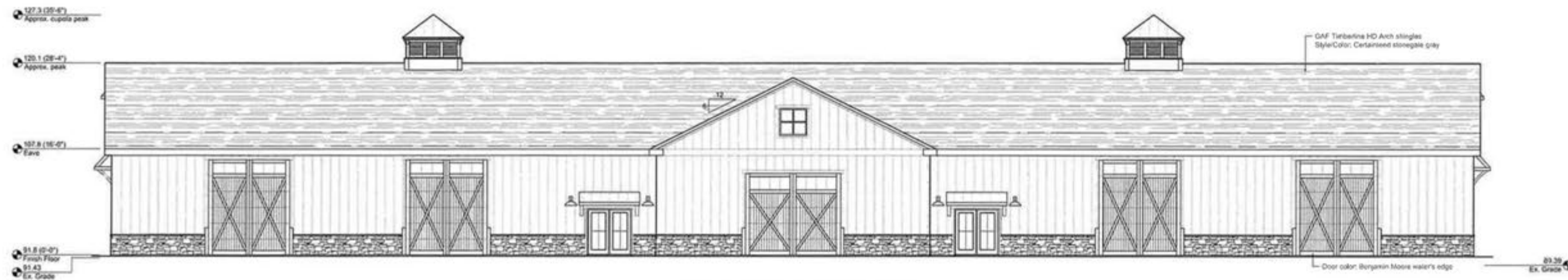
KEY PLAN
Scale: NTS



FLOOR PLAN
Scale: 1/8" = 1'-0"

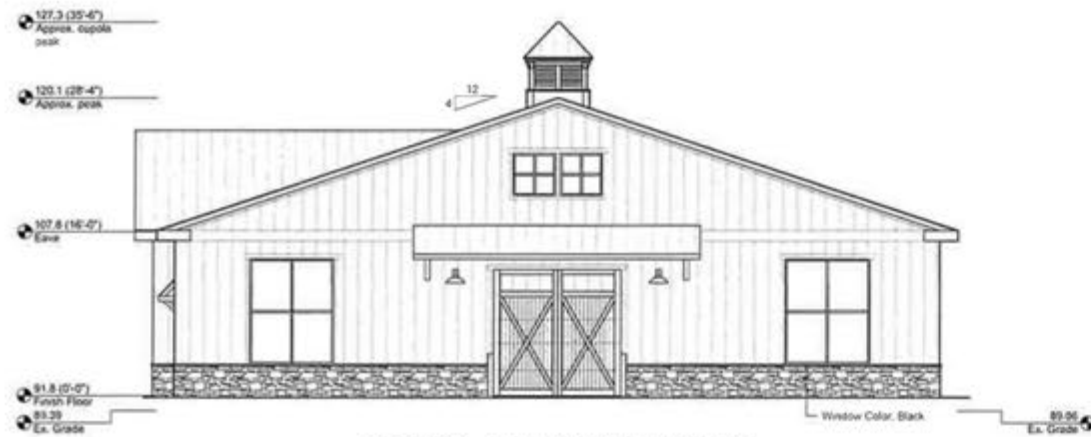


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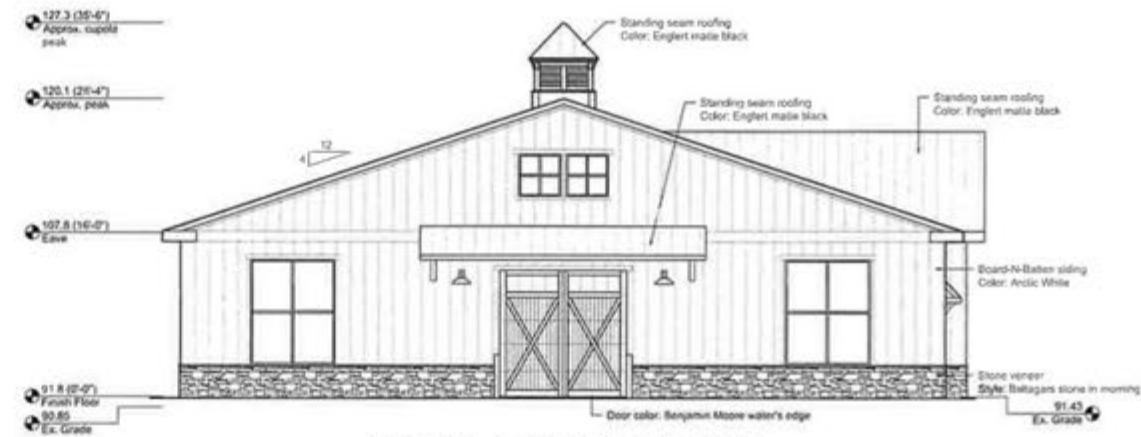
EAST - ELEVATION A-2.01

Scale: 1/8" = 1'-0"



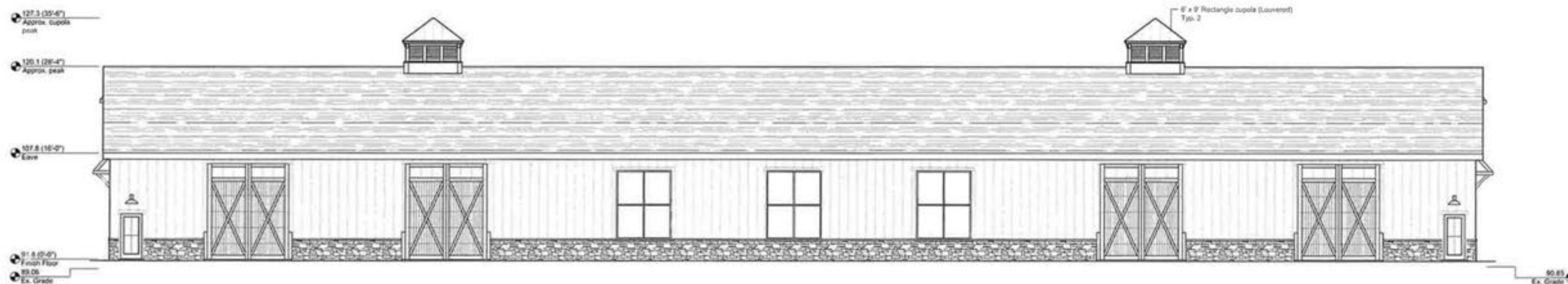
SOUTH - ELEVATION B-2.01

Scale: 1/8" = 1'-0"



NORTH - ELEVATION C-2.01

Scale: 1/8" = 1'-0"

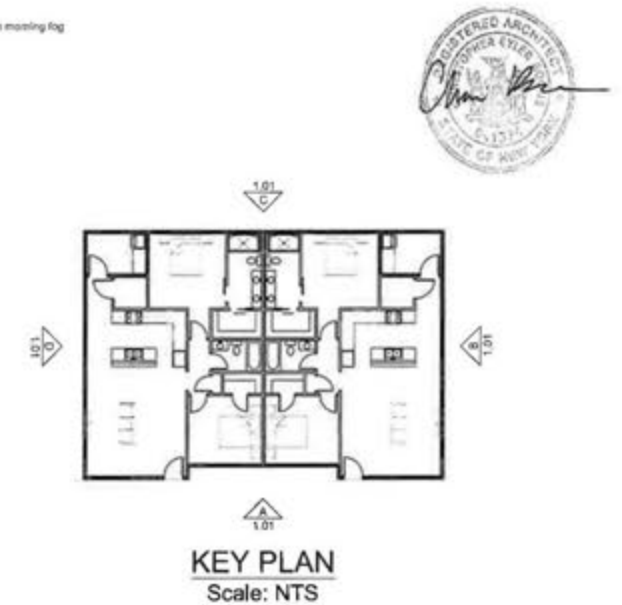
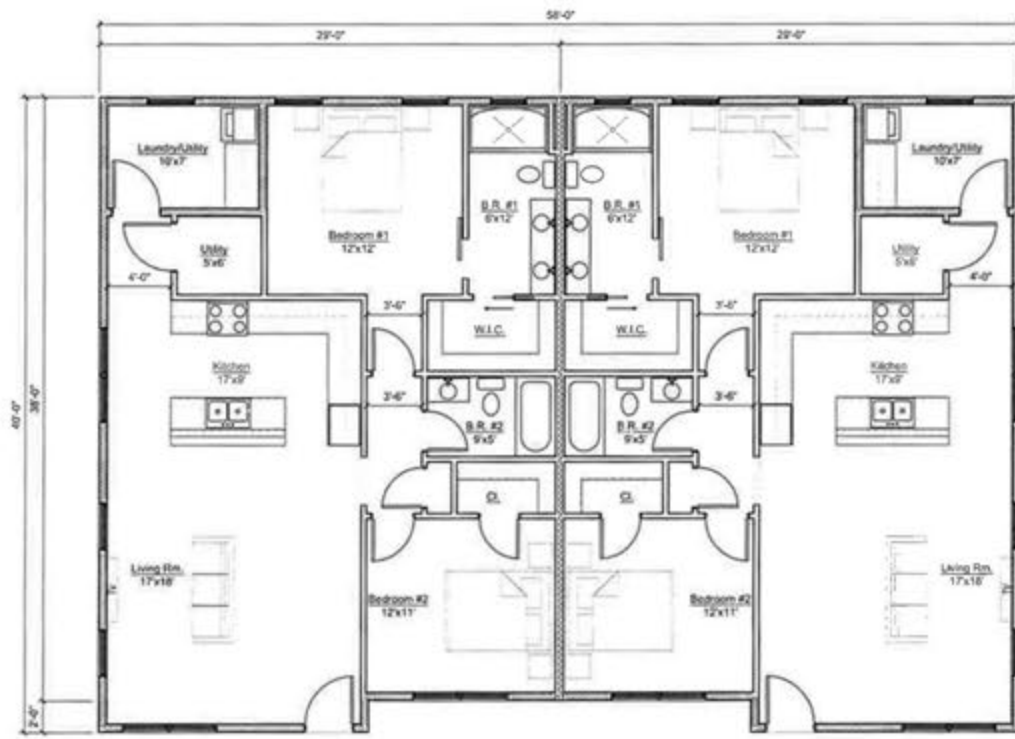


WEST - ELEVATION D-2.01

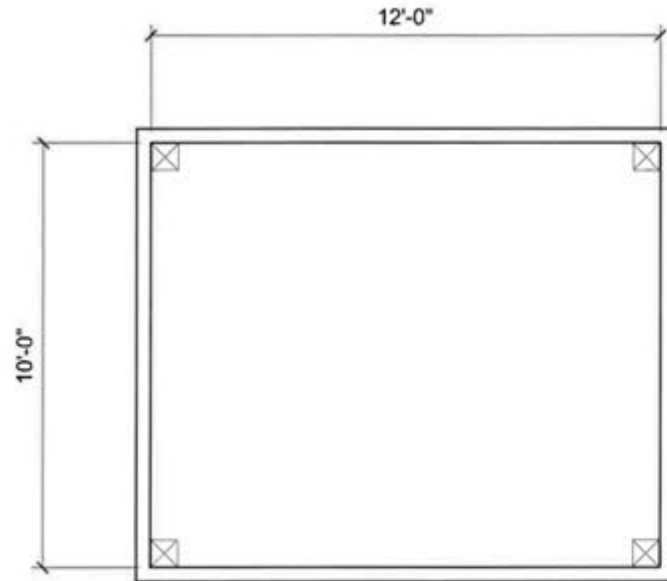
Scale: 1/8" = 1'-0"



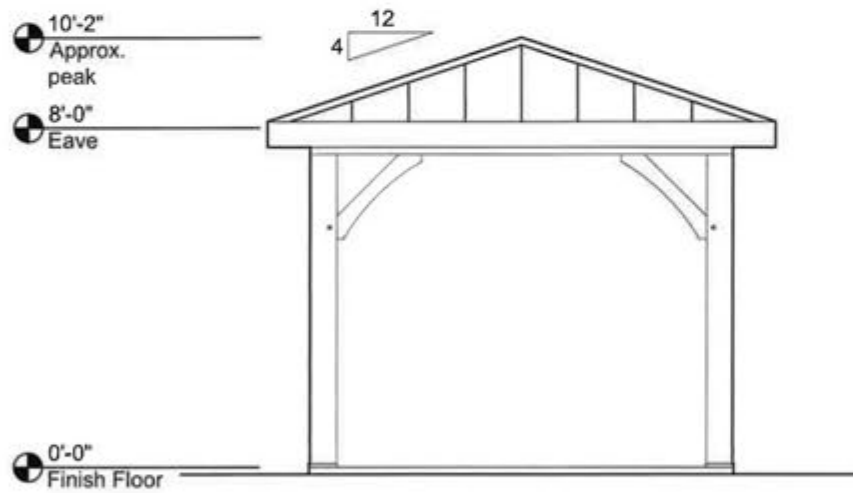
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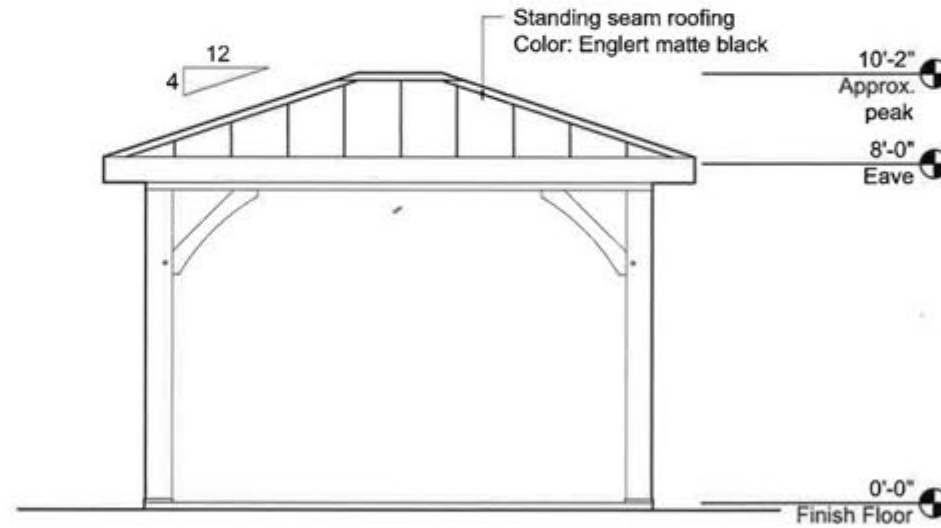
* For Zoning Board Approval *
Not For Construction



FLOOR PLAN
Scale: 1/2" = 1'-0"



NORTH & SOUTH ELEVATIONS
Scale: 1/2" = 1'-0"



EAST & WEST ELEVATIONS
Scale: 1/2" = 1'-0"

